

MADISON CITY
HISTORIC DISTRICT BOARD OF REVIEW

There will be a regularly scheduled meeting of the Historic District Board of Review on Monday, October 25, 2021 at 5:30 p.m. in City Hall, 101 W. Main Street, Madison, IN 47250 to consider:

New Applications:

1. Dale Wells – C. of A. to build an attic addition to house 1 room, ½ bath, 4 wood doors (1 front, 3 rear), using wood, asphalt shingles, wood/aluminum clad windows, 8 exterior lights, Hardie board siding.

Location: **1037 W. Main St.**

Zoned: **Medium-Density Residential (R-8)**

2. Gary Liter – C. of A. to: demolish non-historic shed at alley and build 34'x40' garage with cement floor, tin siding, 10' overhead door, exterior security lighting, 4 vinyl 2'x3' windows on each 40' side; building height 10'.

Location: **412 East St.**

Zoned: **Specialty District (SD)**

3. Kristi Nichols / Patrick Lynch – C. of A. to: extend existing room by 3' on north/east corner of home using same materials as existing; tear off existing deck & replace with larger deck 22'x25' with gable roof using same materials as current deck.

Location: **820 Fillmore St.**

Zoned: **Historic District Residential (HDR)**

4. Chris & Gina Lynn – C. of A. to: demolish two rear chimneys.

Location: **214-16 W. Second St.**

Zoned: **Historic District Residential (HDR)**

Extended Application:

5. Melissa & Todd Miller – C. of A. to: demo current structure & rebuild to the exact footprint; add on to existing floor plan either at the rear of home or as a camelback.

Location: **718 W. Third St.**

Zoned: **Historic District Residential (HDR)**

For the purpose of hearing those who are for or against said applications, a public hearing will be held on Monday, October 25 at 5:30 p.m. in City Hall, 101 W. Main Street, Madison, IN 47250.

This agenda is in DRAFT FORM. Open Door Law does not prohibit the public agency from changing or adding to its agenda during the meeting.

As per Title II of the Americans with Disabilities Act, anyone requiring an auxiliary aid or service for affective communication, should contact the Madison City Plan Commission at 812-265-8324 as soon as possible, but no later than 48 hours before the scheduled meeting.

BY ORDER OF THE HISTORIC DISTRICT BOARD OF REVIEW

Brooke Peach, Historic Preservationist

REVISED 10/6/2021



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 718 W. Third St. to: rebuild with the exact footprint using appropriate materials; build an addition to the rear of the home (either a camel back or one-level addition).



Application Date: September 7, 2021
HDBR Meeting Date: October 25, 2021

Project Description:

Certificate of Appropriateness application to rebuild with the exact footprint using appropriate materials and build an addition to the rear of the home (either a camel back or one-level addition).

Current Zoning:

Historic District Residential (HDR)

Project Location:

718 W. Third St.

Applicant:

Melissa & Todd Miller
118 E. Main St.
Madison, IN 47250

Owner:

Same

Supporting Documents:

COA application
Photo of property
Architectural drawings of proposed new construction & addition
Copy of HDBR meeting public sign
NHL survey sheet #132
Physical Condition Report
GIS map

Date	c. 1890
Style	Shotgun
Evaluation	Contributing
Survey Notes	



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Alterations, Historical Information, & Prior Approvals:

Alterations:

Replacement doors w/ multilight windows; modern metal shed porch roof & metal scrolled column supports

Historical Information/Misc. Important Information:

N/A

Prior COA Approvals:

11/28/2011 - C. of A. to remove portion of collapsed rear addition; create covered porch; install new panel fiberglass door; repair wood windows; paint and install Mon-Ray storms; replace front door with fiberglass door or salvaged wood panel door; install full view storm door.

10/05/2021 – unsafe structure declaration to demolish the building

Staff Recommendations, Guidelines, Standards, & Ordinances

Site Visit Report:

See Physical Conditions Report

HDBR Guidelines:

Madison Residential Design Review Guidelines – New Construction-Infill Buildings – pg. 69-71

Where historic buildings have been lost or where there are vacant lots, new construction is encouraged to add to the streetscape and promote economic development. Infill construction in Madison's residential areas should be compatible with adjacent buildings in scale, height, materials, orientation, shape, placement, and rhythm and proportion of openings. Contemporary designs are encouraged but replicas of historic designs may also be acceptable.

1. New buildings should be compatible with adjacent buildings in terms of height.
2. New buildings should be compatible with adjacent buildings in terms of materials.
3. New buildings should be compatible with adjacent buildings in terms of set back.
4. New buildings should be compatible with adjacent buildings in terms of scale and proportions.
5. New buildings should be compatible with adjacent buildings in terms of roof form.
6. New construction should be oriented toward the major street.



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

7. New garages should be built at the rear of a dwelling or set well back on side elevations.

Madison Residential Design Review Guidelines – New Construction-Additions p. 68

In planning additions the best approach is to site additions where they will not be visible from the street, or where they will have the least effect on the building's overall form and plan. The rear of buildings is the best locations for the addition of rooms, wings, porches, or decks. Enlarging a property through adding additional stories is not appropriate except at rear roof lines which are not readily visible.

1. Additions to historic homes should be located at the rear of buildings, not on the front or sides of buildings where they are readily visible from the street.
2. Additions should be secondary (smaller and simpler) than the original building in scale, design, and placement.
3. Additions should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights.
4. Additions should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a Colonial Revival house.

Conformance with Guidelines, Ordinance & Standards:

The project is in conformance with Infill Guidelines 1-7 because the proposed rebuild will retain the same footprint, design, and comparable materials; is in conformance with Addition Guidelines 1-4 because the proposed addition will be located in the rear and is of an appropriate size/massing for the primary structure and surrounding neighboring structures; is in conformance with the Demolition Guidelines because the aluminum siding and modern porch alterations do not contribute to the historic district and the lack of maintenance was not a result of actions of the current owner; and is in conformance to SIS standards for Restoration 9.

Ordinance:

151.34 Visual Compatibility Factors

(J) Scale of a building. The size of a building, the building mass of a building in relation to open spaces, the windows, door openings, porches, and balconies shall be visually compatible with the buildings, squares, and places to which it is visually related.

Secretary of the Interior Standards:

Standards for Restoration

6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.

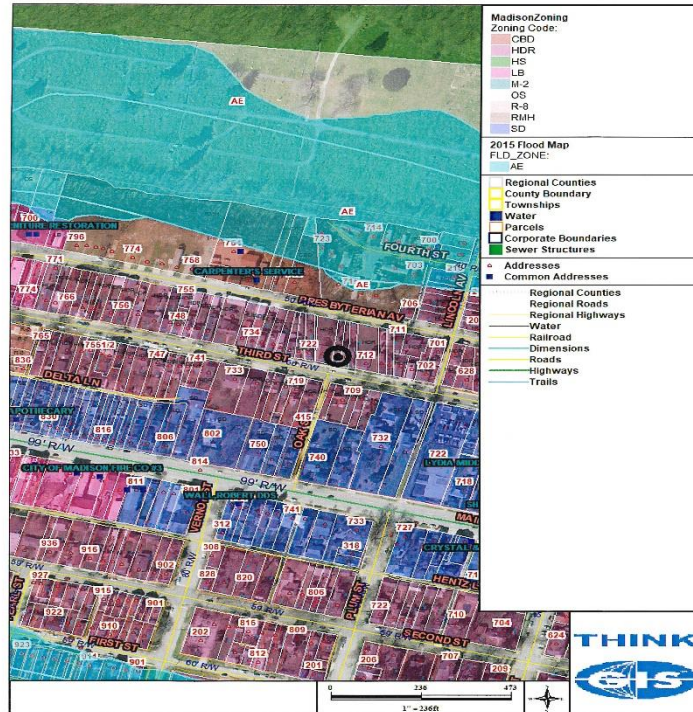


Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Preservation Brief:

N/A

Think GIS Map



For Staff Use Only

HDBR Meeting Date: _____

Action: _____ HDBR/Staff COA
_____ HDBR Extended
_____ HDBR/Staff Denied
_____ Sent to HDBR by Staff

Date Received: _____

RECEIVED

SEP 07 2021

Application Requirements

All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required (see page 2), and the application fee.

Application Deadline

Applications for January-November are due by 4:00 p.m. on the first Monday of the month. Applications for December are due by 4:00 p.m. on the fourth Monday of November.

Application Submission

Return one copy of this completed application, application fee, and all supporting documents to:

City of Madison, IN
Office of Historic Preservation
101 W. Main St., Madison, IN 47250
Phone: (812) 274 - 0283
Fax: (812) 265 - 3349

Email: preservation@madison-in.gov
A fee is not required for Staff review projects. Please check with staff before writing a check. The application fee (payable by cash or check made out to Madison City Plan Commission) is \$15.00 for projects which require HDBR Review and \$2.00 for each notification sign.

Application Hearing

Complete applications submitted by the deadline will be heard before the Madison Historic District Board of Review at their regular meeting held every fourth Monday of January—November and on the third Monday of December. The meetings are at 5:30 p.m. in the City Hall, 101 W Main St, Madison, IN 47250.



Application for Certificate of Appropriateness (COA)

City of Madison, IN
Historic District Board of Review

Project Information

Address of property for proposed work: 718 W 3rd St.
(Street Number - Street Name)

Type of Project (Check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> New Building | <input type="checkbox"/> Sign |
| <input checked="" type="checkbox"/> Addition to Building | <input checked="" type="checkbox"/> Relocating a building |
| <input checked="" type="checkbox"/> Rebuilding, Restoration, Rehabilitation, Remodel | <input checked="" type="checkbox"/> Demolition |
| <input type="checkbox"/> Fence or Wall | <input type="checkbox"/> Other _____ |

Contractor: Omar Zawabir / Duane Burre

***Applicant Mailing Address:**

Name(s): Melissa & Todd Miller

Mailing Address: 118 E Main St. Madison, TN
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 812-599-4311 Email Address: mlm@spectator.com

Owner Mailing Address:

Name(s): 118 E Main St. Melissa & Todd Miller

Mailing Address: 118 E Main St.
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 812-599-4311 Email Address: _____

*Note: If the applicant is not the owner, the legal notice and notification signage will include both the Applicant's name and the Owner's Name. Applicants must have owners permission to do proposed work.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.

Melissa Miller
Signature of Applicant/Owner

9-6-21
Date

Application for Certificate of Appropriateness (COA) Page - 3

City of Madison, IN
Historic District Board of Review

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input checked="" type="checkbox"/>	Additions	Commercial: 62-63 Residential: 68	HDBR		
<input checked="" type="checkbox"/>	Awnings	Commercial: 34-35 Residential: 35	STAFF		
<input checked="" type="checkbox"/>	Brickwork/Masonry	Commercial: 36-39 Residential: 36 - 37	HDBR/STAFF		
<input type="checkbox"/>	Chimneys	Commercial: -- Residential: 38	HDBR/STAFF		
<input checked="" type="checkbox"/>	Deck	Commercial: 60 Residential: 64	HDBR/STAFF		
<input checked="" type="checkbox"/>	Demolition	Commercial: 71-72 Residential: 80-81	HDBR		
<input checked="" type="checkbox"/>	Doors & Entrances	Commercial: 40-42 Residential: 39-42	HDBR/STAFF		
<input checked="" type="checkbox"/>	Fences and Walls	Commercial: -- Residential: 73	STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	Commercial: 43 Residential: 43	HDBR/STAFF		
<input checked="" type="checkbox"/>	Foundations	Commercial: -- Residential: 44	STAFF		
<input type="checkbox"/>	Garages & Outbuildings	Commercial: -- Residential: 45	HDBR/STAFF		
<input checked="" type="checkbox"/>	Gutters & Downspouts	Commercial: 44 Residential: 46	STAFF		
<input type="checkbox"/>	Infill Buildings and New Construction	Commercial: 64-66 Residential: 69-71	HDBR		
<input type="checkbox"/>	Lighting	Commercial: 45 Residential: 47	STAFF		
<input type="checkbox"/>	Pools, Fountains, Gazebos and Pergolas	Commercial: -- Residential: 75	STAFF		
<input type="checkbox"/>	Porch Columns & Railings	Commercial: -- Residential: 51-52	HDBR/STAFF		
<input checked="" type="checkbox"/>	Porches	Commercial: -- Residential: 49-50	HDBR/STAFF		
<input type="checkbox"/>	Ramps and Lifts	Commercial: 61 Residential: 65-67	HDBR/STAFF		
<input checked="" type="checkbox"/>	Roofs	Commercial: 47 Residential: 53-54	HDBR/STAFF		
<input type="checkbox"/>	Shutters	Commercial: -- Residential: 55	HDBR/STAFF		
<input type="checkbox"/>	Siding	Commercial: -- Residential: 56-58	HDBR/STAFF		
<input type="checkbox"/>	Signs	Commercial: 48-51 Residential: 59	STAFF		
<input type="checkbox"/>	Storefronts	Commercial: 52-55 Residential: --	HDBR/STAFF		
<input type="checkbox"/>	Storm Doors and Storm Windows	Commercial: 40-42, 56-59 Residential: 39 - 42, 60 - 63	STAFF		
<input type="checkbox"/>	Utilities	Commercial: 70 Residential: 78	STAFF		
<input type="checkbox"/>	Windows	Commercial: 56-59 Residential: 60-63	HDBR/STAFF		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		

Application for Certificate of Appropriateness (COA) Page - 2

City of Madison, IN
Historic District Board of Review

Required Supporting Documents

The following list **includes** the **supporting documents necessary** for review of a particular **project**. For site plans all four (4) **setbacks** from **property** line **MUST** be labeled. Only one (1) copy of each supporting **document** is **necessary**.

Repair, Replace, or Repair/Replace:

- ☐ Structure Plan - Elevations (Only required if making **changes** to openings or **adding/removing** features)
- ☐ Site Plan **MUST** have all four (4) setbacks labeled. (Only if **changing** footprint)
- ☒ Photographs (current/proposed) with captions
- ☐ Samples/brochures

New Buildings and New Additions:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or **adding/removing** features)
- ☐ Site Plan **MUST** have all four (4) setbacks labeled.
- ☐ Floor Plan
- ☐ Photographs of **proposed** site and adjoining properties with captions
- ☐ Samples/brochures

Sign and Fence/Walls:

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ Additional Information Sheet

Moving Buildings:

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

Demolition:

- ☐ Photographs with captions

Project Description

If the proposed scope of work will include more than one type of project please divide the **description** into **sections**.

(Example: 1. south side, replace 2 upper wood windows with wood **windows**; 2. roof, replace metal roof with asphalt **shingles**)

- 1) Demol current structure & Rebuild the rebuild will have the exact footprint & Site Plans that is currently there.
- 2) Add box to existing floor plan by adding additional house front to the rear of home. Box level on level back.
- 3) Completely ~~remove~~ the structure after the rebuild
- 4) Back approval for additions with plans & construction materials.

☐ Continued on additional sheet

Historic board,

We are seeking permission to tear down the existing structure at 718 W. 3rd st. The structure has been severely compromised due to extreme termite damage. The floor and roof joists are hollow inside. The side walls are also completely eaten away and destroyed. (we have included photos). The house is very unsafe in this current condition. There is an ample amount of daylight coming through the floor seal plate that the floor joists are resting upon. It would be a greater benefit to the cost and structure to demo the current structure and rebuild.

We would rebuild to the exact dimensions of the original structure. Then we would like to extend the original house back or construct a camel back addition. We are currently working on both scenarios with our architect to bring before the board for final approval. The interior and exterior of the house would be finished with historic board approved materials. We will submit our house plans and finishes before any construction of the new additions will take place so that the board is fully aware of our intentions to obtain proper permission and building permits.

We are only seeking to tear-down and rebuild the current structure at this time. I truly understand the significance of maintaining historic authenticity.

Melissa Lee-Miller

rwingham@royercorp.com
Original house plan
Aug 2, 2021 at 7:04:00 AM
Melissa Lee-Miller

Good morning Melissa,

I have the hard part done on the house design.
Do you mind sketching on here what walls you are moving and deleting?
I remember everything I believe, just want to make sure.

Regards,

Roger Wingham
Royer Corporation | Director of Maintenance Processes, Facility & Operation
805 East Street | Madison, IN 47250 | Office: 800-457-8997, Ext. 115
Email: rwingham@royercorp.com
Website: www.royercorp.com
✉️
Connect With Us!

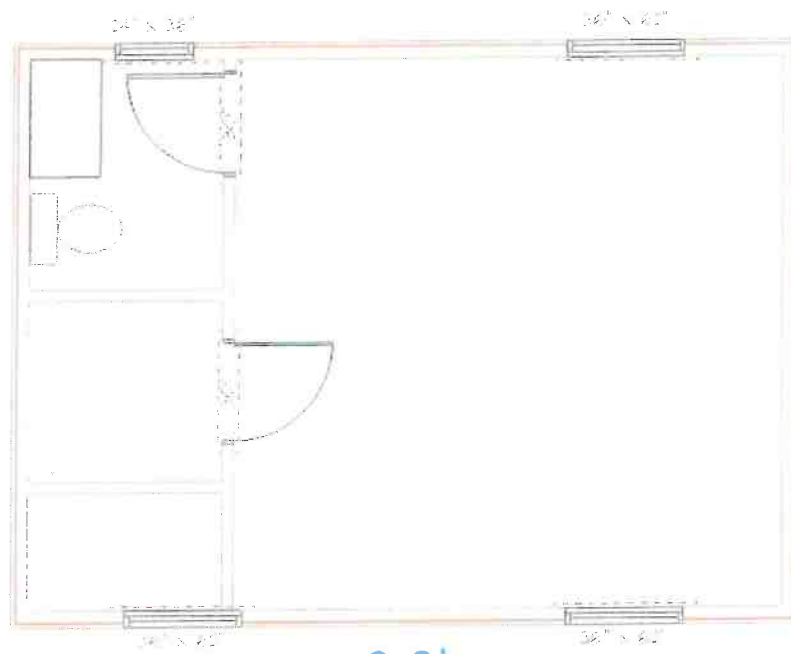

This email and any attachments are intended solely for the use of the individual or entity to whom it is addressed and may be confidential and/or privileged. If you are not one of the named recipients or have received this email in error, (i) you should not read, disclose, or it, (ii) please notify sender of your receipt by reply email and delete this email and all attachments, (iii) Royer Corporation does not assume any liability or responsibility for any use of or reliance on this email.



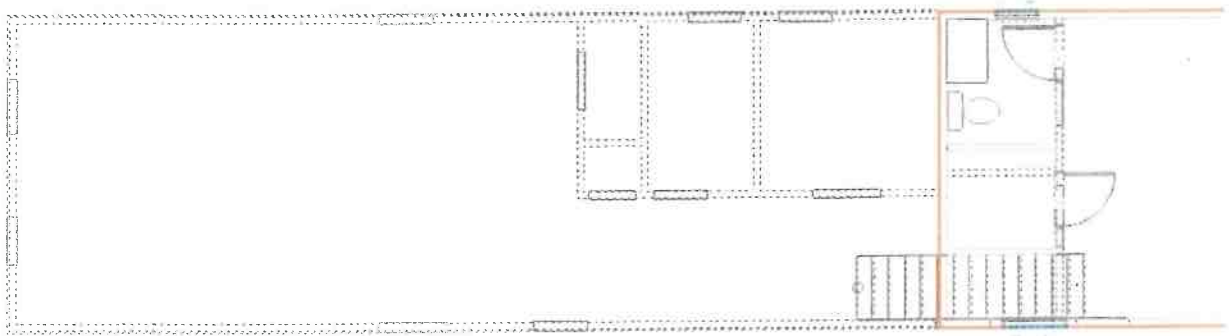


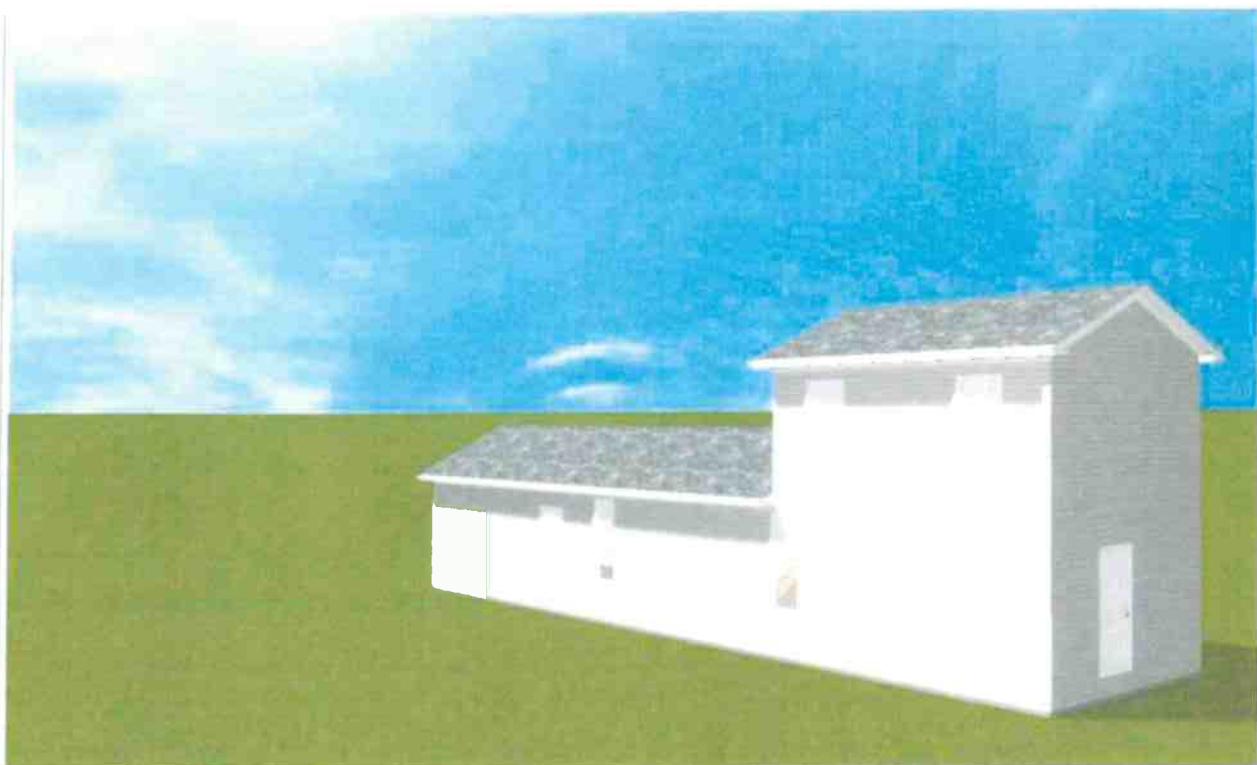
0-31 0000



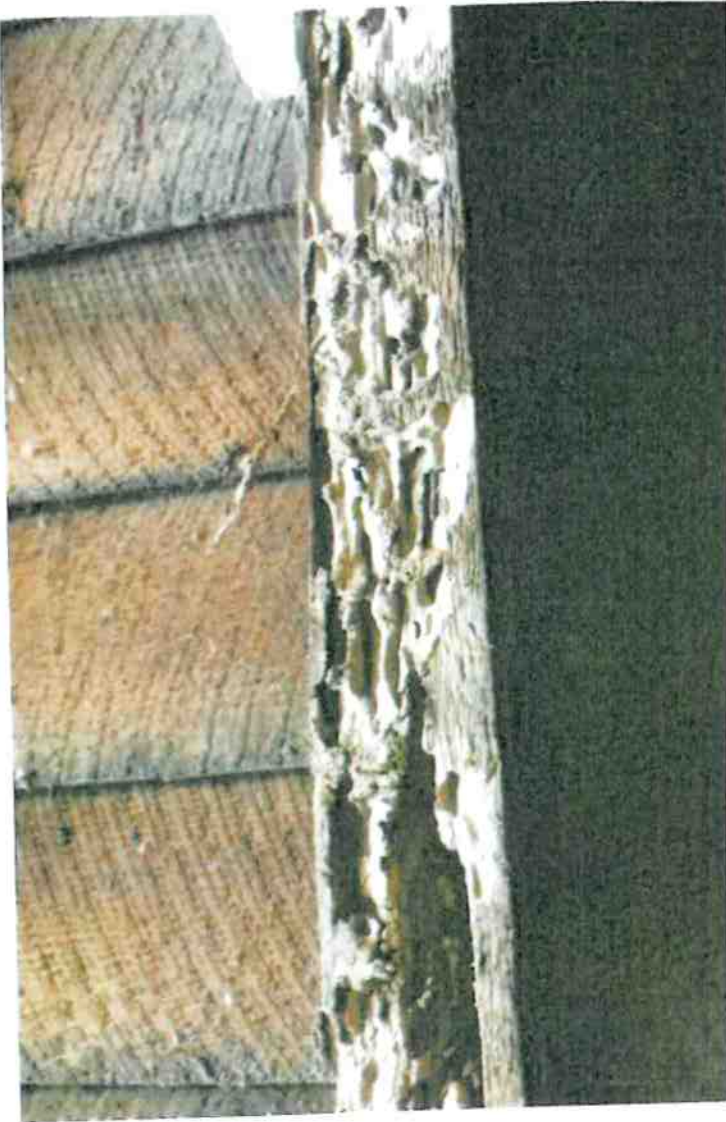


8-31 up



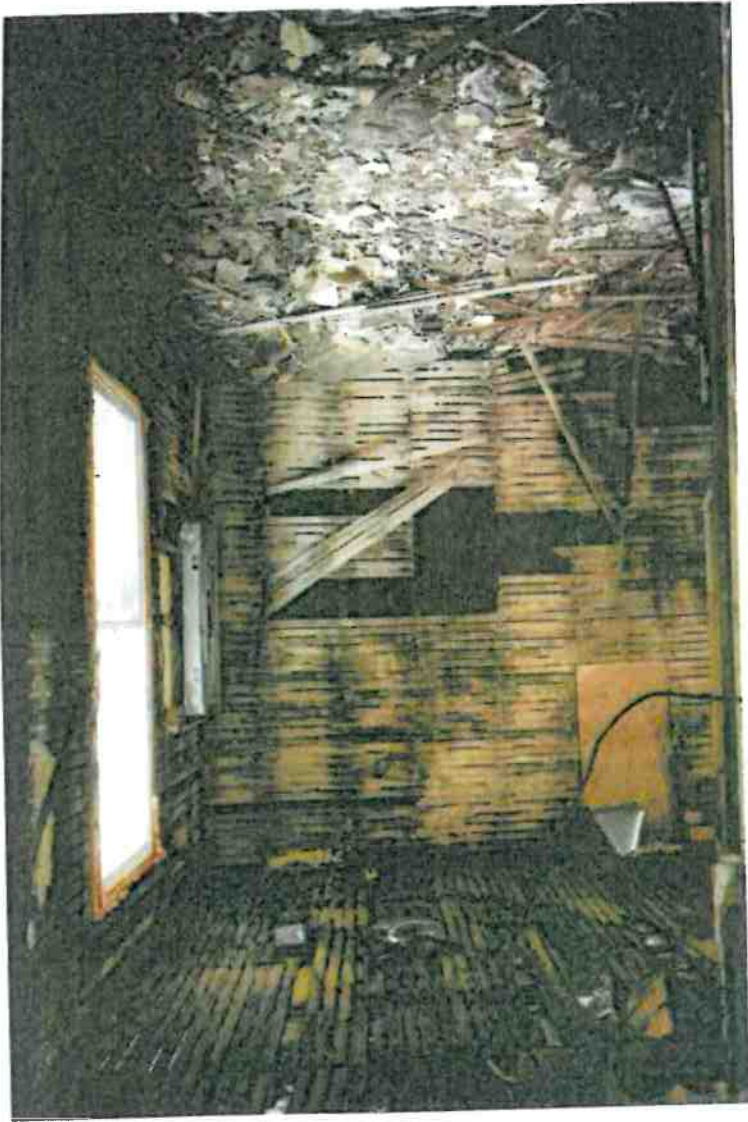


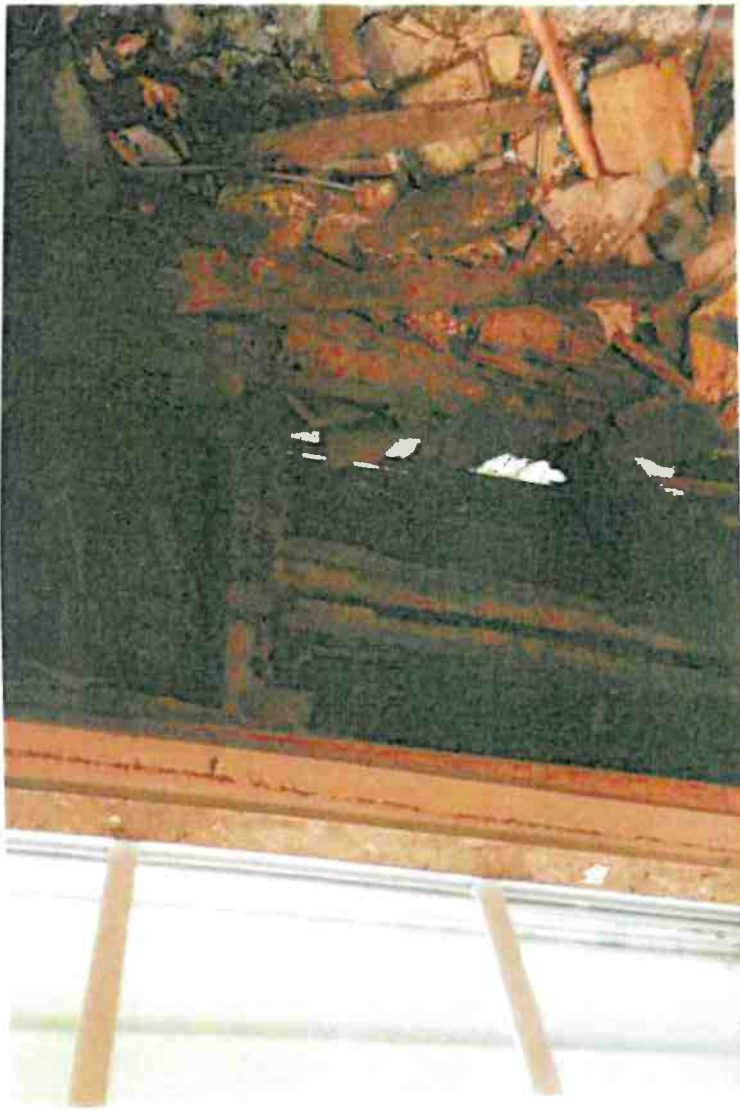


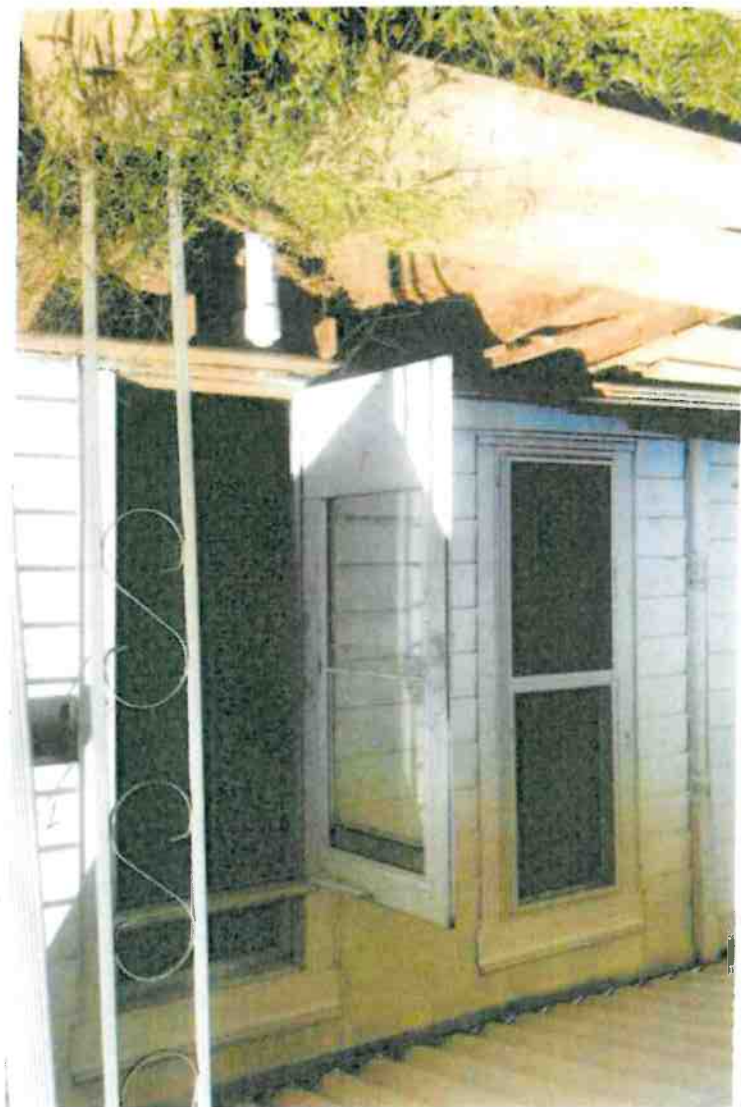


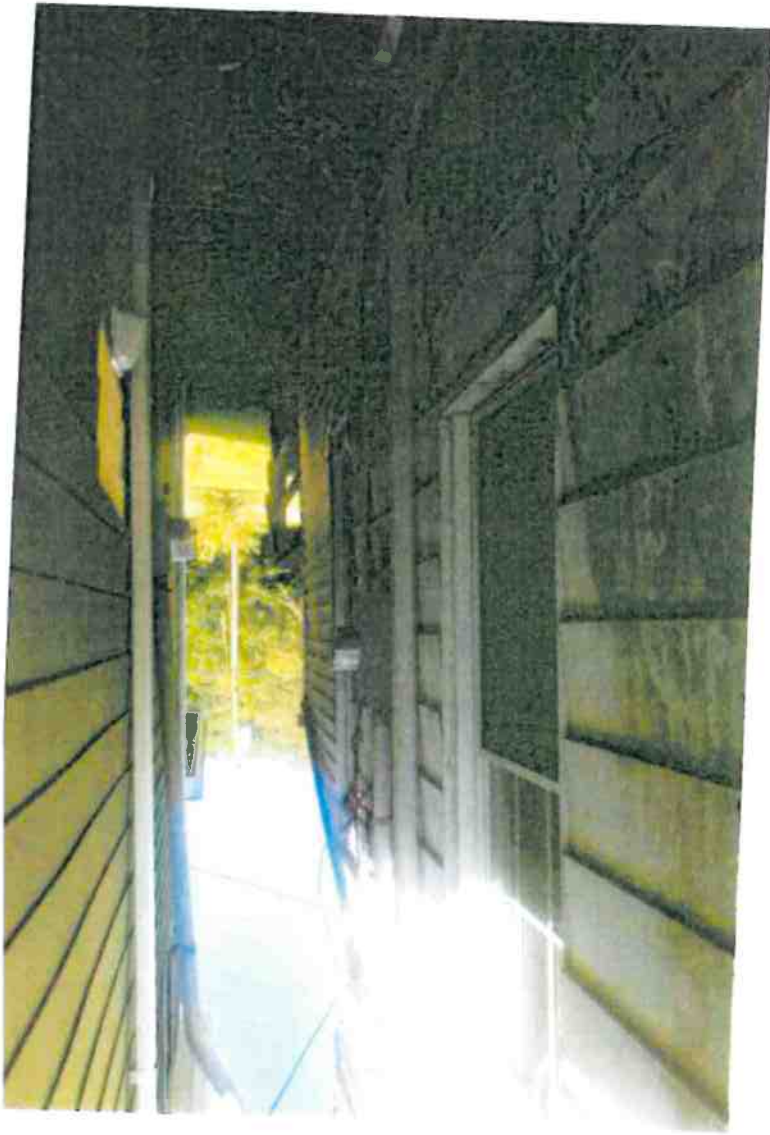


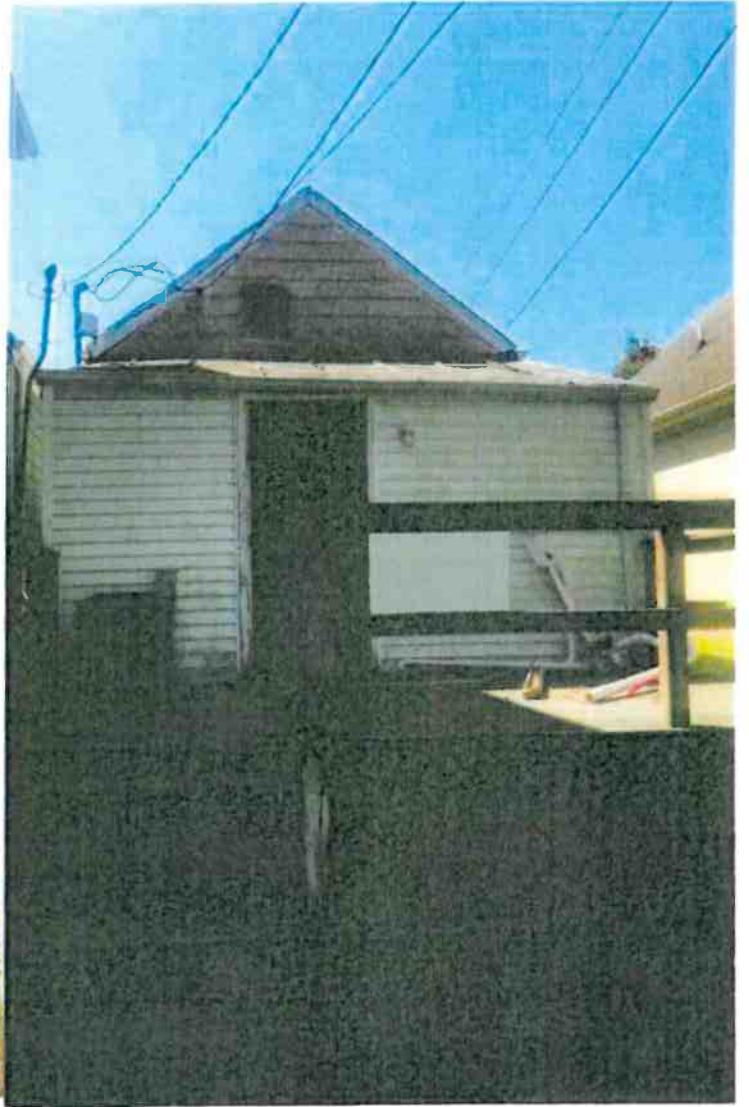
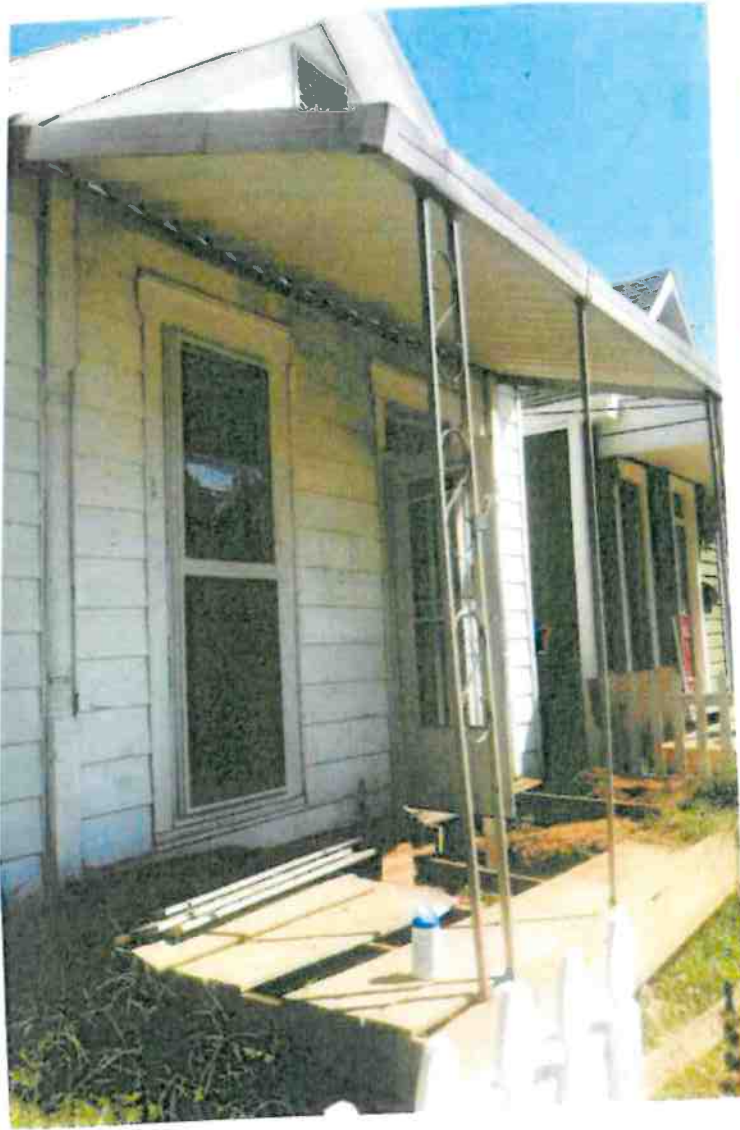


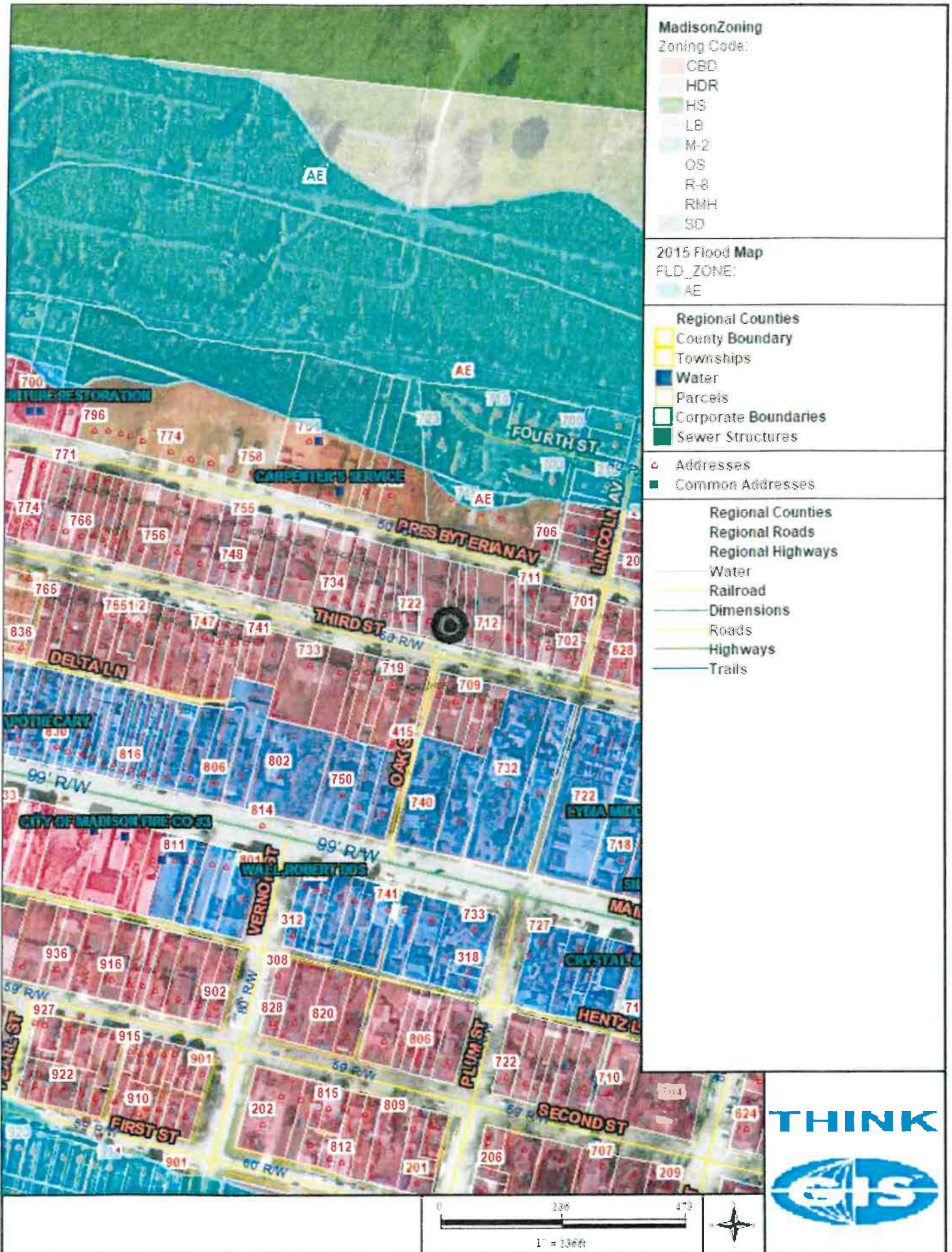














2015 Flood Map

FLD_ZONE:

AE

Regional Counties

County Boundary

Townships

Water

Parcels

Corporate Boundaries

Sewer Structures

Addresses

Regional Counties

Regional Roads

Regional Highways

Water

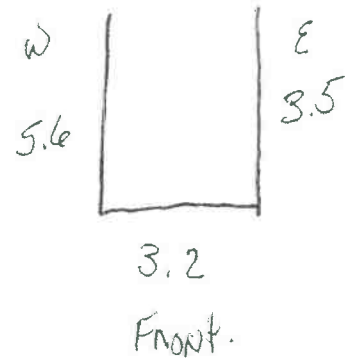
Railroad

Dimensions

Roads

Highways

Trails



THINK



Madison National Historic Landmark Inventory

Reconnaissance Survey Form

Location Information

Street Address: 718 W. Third Street

Date: c. 1890 Architect:

Historic Name: House

Historic Function: Domestic: Single Dwelling

Common Name:

Description

Style: Other: Shotgun

Style 2:

Category: Building Wall Cladding: Aluminum siding

Openings: 4/4 windows and replacement doors w/ multilight windows, wooden surrounds, transom above front door

Roof: Gable front w/ cornice w/ brick chimney, rear addition w/ shed roof

Foundation: parged rubble stone Plan: Rectangular Stories: 1

Outbuildings:

Objects:

Nat'l Feat-Topo:

Water Features:

Circulation: linear path to rear

Street Furniture

Vegetation: 3 ft. diameter maple tree in front

Spatial Rel: slightly canted

Edges-Fences: iron fence w/ gate

Views-Vistas:

Resource Count: Contributing: 1 NonContributing: NR Status: Rating: C

Significance: NHL: C State: Local:

Criterion 1: x Criterion 2: Criterion 3:

Criterion 4: x Criterion 5: Criterion 6:

Areas of Significance: Architecture, Social history

Theme: Worker Housing

Notes:

Architectural Description:

Final Site No. 132

Site Group: 2

Map: 3

HABS #:

USGS Quad:

Survey#

Surveyor: EKT

Survey Date: 7/3/2002

Photo Roll-Fr: Roll 17 # 13-17

Site Number: 2-104

Revision Date:

Current Function: Domestic: Single Dwelling

Additions:



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 1037 W. Main St. to: build an attic addition to house 1 room, ½ bath, 4 wood doors (1 front, 3 rear), using wood, asphalt shingles, wood/aluminum clad wood windows, 8 exterior lights, Hardie board siding.



Application Date: September 21, 2021

HDBR Meeting Date: October 25, 2021

Project Description:

Certificate of Appropriateness application to build an attic addition to house 1 room, ½ bath, 4 wood doors (1 front, 3 rear), using wood, asphalt shingles, wood/aluminum clad wood windows, 8 exterior lights, Hardie board siding.

Current Zoning:

Residential Medium-Density (R-8)

Project Location:

1037 W. Main St.

Applicant:

Dale Wells
1037 W. Main St.
Madison, IN 47250

Owner:

SAME

Supporting Documents:

COA application
Photo of property & addition
Proposed addition drawing
Site plan
NHL survey sheet #285
GIS map

Alterations, Historical Information, & Prior Approvals:	
Date	c. 1850
Style	Italianate
Evaluation	Contributing
Survey Notes	



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Alterations:

Addition, doors, windows, and skylights already built/installed.

Historical Information/Misc. Important Information:

N/A

Prior COA Approvals:

N/A

Guidelines, Standards, & Ordinances

Site Visit Report:

N/A

HDBR Guidelines:

Madison Residential Design Review Guidelines – New Construction-Additions p. 68

In planning additions the best approach is to site additions where they will not be visible from the street, or where they will have the least effect on the building's overall form and plan. The rear of buildings is the best locations for the addition of rooms, wings, porches, or decks. Enlarging a property through adding additional stories is not appropriate except at rear roof lines which are not readily visible.

1. Additions to historic homes should be located at the rear of buildings, not on the front or sides of buildings where they are readily visible from the street.
2. Additions should be secondary (smaller and simpler) than the original building in scale, design, and placement.
3. Additions should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights.
4. Additions should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a Colonial Revival house.
5. The recommended approach is for additions to reflect characteristics of the current period in design but compatible with the original building.
6. To avoid extensive removal, damage, or loss of historic materials, additions should keep the exterior walls of the original building as intact as possible and use existing door and window openings for connecting the addition to the building.

Conformance with Guidelines, Ordinance & Standards:

The project is **not in** conformance to New Construction – Additions Guidelines 1, 3, and 6 and **not in** conformance to local ordinance 151.34 because the addition does not conform to A, G, H, and J.



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Ordinance:

§ 151.34

Within the primary area, new construction and existing buildings and structures and appurtenances thereof which are moved, reconstructed, materially altered, or repaired shall be visually compatible with buildings, squares, and places to which they are visually related generally in terms of the following factors:

(A) Height. The height of proposed buildings shall be visually compatible with adjacent buildings.

(B) Proportion of building's front facade. The relationship of the width of building to the height of the front elevation shall be visually compatible to buildings, squares, and places to which it is visually related.

(C) Proportion of openings within the facade. The relationship of the width of the windows to height of windows in a building shall be visually compatible with buildings, squares, and places to which the building is visually related.

(D) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, squares, and places to which it is visually related.

(E) Rhythm of spacing of buildings on streets. The relationship of the building to open space between it and adjoining buildings shall be visually compatible to the buildings, squares, and places to which it is visually related.

(F) Rhythm of entrance or porch projection. The relationship of entrances and porch projections to sidewalks of buildings, squares, and places shall be visually compatible to the buildings to which it is visually related.

(G) Relationship of materials, and texture. The relationship of materials, and texture of the facade of a building shall be visually compatible with the predominant materials used in the buildings to which it is visually related.

(H) Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

(I) Walls of continuity. Appurtenances of a building such as walls, wrought iron, fences, evergreen landscape masses, and building facades, shall, if necessary, form cohesive walls of enclosure along a street, to insure visual compatibility of the building to the buildings, squares, and places to which it is visually related.

(J) Scale of a building. The size of a building, the building mass of a building in relation to open spaces, the windows, door openings, porches, and balconies shall be visually compatible with the buildings, squares, and places to which it is visually related.



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Secretary of the Interior Standards:

SOI Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

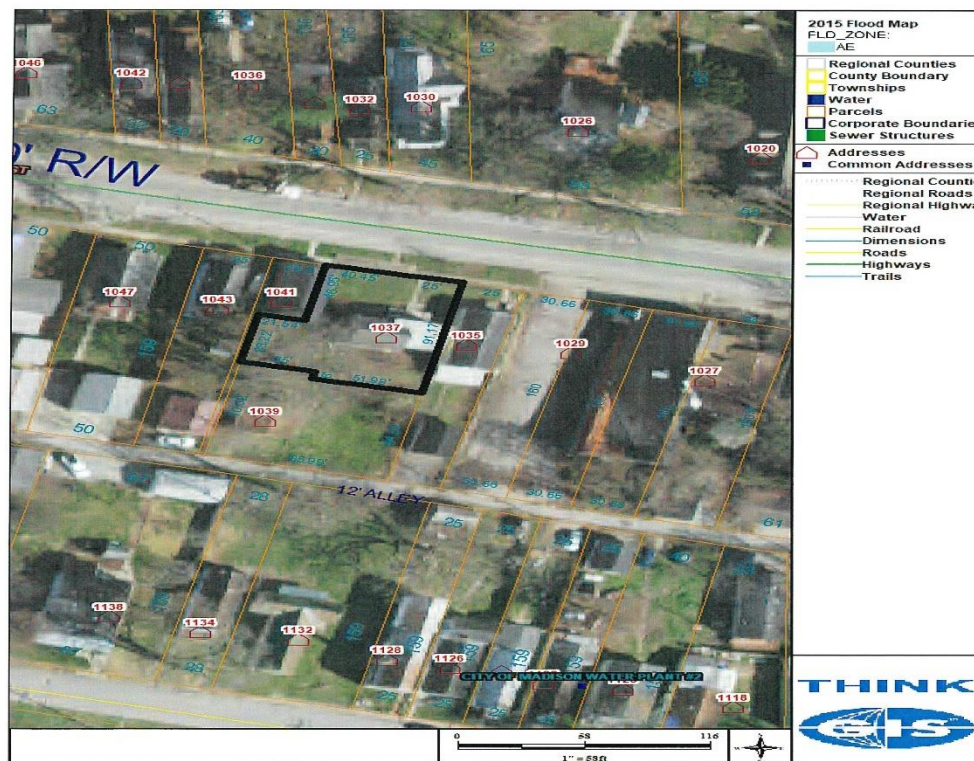
Conformance with SOI Standards:

The project is in conformance to SOI Standards for Rehabilitation 1, 9-10.

Preservation Brief:

#14 – New Exterior Additions to Historic Buildings: Preservation Concerns

Think GIS Map



For Staff Use Only

HDBR Meeting Date: _____

Action: ☐ HDBR/Staff COA
☐ HDBR Extended
☐ HDBR/Staff Denied
☐ Sent to HDBR by Staff

Date Received: _____

RECEIVED
SEP 21 2021

Application Requirements

All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required (see page 2), and the application fee.

Application Deadline

Applications for January-November are due by 4:00 p.m. on the first Monday of the month. Applications for December are due by 4:00 p.m. on the fourth Monday of November.

Application Submission

Return one copy of this completed application, application fee, and all supporting documents to:

City of Madison, IN
Planning, Preservation, & Design Office
101 W. Main St., Madison, IN 47250
Phone: (812) 274 - 0283
Email: bpeach@madison-in.gov
or nschell@madison-in.gov

A fee is not required for Staff review projects. Please check with staff before writing a check. The application fee (payable by cash or check made out to Madison City Plan Commission) is \$15.00 for projects which require HDBR Review and \$2.00 for each notification sign.

Application Hearing

Complete applications submitted by the deadline will be heard before the Madison Historic District Board of Review at their regular meeting held every fourth Monday of January—November and on the third Monday of December. The meetings are at 5:30 p.m. in the City Hall, 101 W Main St, Madison, IN 47250.



Application for Certificate of Appropriateness (COA)

City of Madison, IN
Historic District Board of Review

Project Information

Address of property for proposed work: _____
(Street Number - Street Name)

Type of Project (Check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> New Building | <input type="checkbox"/> Sign |
| <input checked="" type="checkbox"/> Addition to Building | <input type="checkbox"/> Relocating a building |
| <input type="checkbox"/> Rebuilding, Restoration, Rehabilitation, Remodel | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Fence or Wall | <input type="checkbox"/> Other _____ |

Contractor: _____

***Applicant Mailing Address:**

Name(s): Dale Wells

Mailing Address: 1037 W. Main Str.
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 812-345-5093 Email Address: _____

Owner Mailing Address:

Name(s): Ibid

Mailing Address: _____
(Street Number - Street Name - City - State - Zip Code)

Phone Number: _____ Email Address: _____

*Note: If the applicant is not the owner, the legal notice and notification signage will include both the Applicant's name and the Owner's Name. Applicants must have owners permission to do proposed work.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.


Signature of Applicant/Owner _____ Date 9-21-21

Application for Certificate of Appropriateness (COA) Page - 2

City of Madison, IN
Historic District Board of Review

Required Supporting Documents

The following list includes the supporting documents necessary for review of a particular project. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

Repair, Replace, or Repair/Replace:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- ☐ Photographs (current/proposed) with captions
- ☐ Samples/brochures

New Buildings and New Additions:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled.
- ☐ Floor Plan
- ☐ Photographs of proposed site and adjoining properties with captions
- ☐ Samples/brochures

Sign and Fence/Walls:

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ Additional Information Sheet

Moving Buildings:

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

Demolition:

- ☐ Photographs with captions

Project Description

If the proposed scope of work will include more than one type of project please divide the description into sections.

(Example: 1. south side, replace 2 upper wood windows with wood windows; 2. roof, replace metal roof with asphalt shingles)

attic addition

1 room, 1 bath

asphalt shingles

3 doors rear

1 door front

☐ Continued on additional sheet

Application for Certificate of Appropriateness (COA) Page - 3

City of Madison, IN
Historic District Board of Review

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input checked="" type="checkbox"/>	Additions	Commercial: 62-63 Residential: 68	HDBR		wood
<input type="checkbox"/>	Awnings	Commercial: 34-35 Residential: 35	STAFF		
<input type="checkbox"/>	Brickwork/Masonry	Commercial: 36-39 Residential: 36 - 37	HDBR/STAFF		
<input type="checkbox"/>	Chimneys	Commercial: -- Residential: 38	HDBR/STAFF		
<input type="checkbox"/>	Deck	Commercial: 60 Residential: 64	HDBR/STAFF		
<input type="checkbox"/>	Demolition	Commercial: 71-72 Residential: 80-81	HDBR		
<input checked="" type="checkbox"/>	Doors & Entrances	Commercial: 40-42 Residential: 39-42	HDBR/STAFF		4 wood doors
<input type="checkbox"/>	Fences and Walls	Commercial: -- Residential: 73	STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	Commercial: 43 Residential: 43	HDBR/STAFF		
<input type="checkbox"/>	Foundations	Commercial: -- Residential: 44	STAFF		
<input type="checkbox"/>	Garages & Outbuildings	Commercial: -- Residential: 45	HDBR/STAFF		
<input type="checkbox"/>	Gutters & Downspouts	Commercial: 44 Residential: 46	STAFF		
<input type="checkbox"/>	Infill Buildings and New Construction	Commercial: 64-66 Residential: 69-71	HDBR		
<input checked="" type="checkbox"/>	Lighting	Commercial: 45 Residential: 47	STAFF		8 lights
<input type="checkbox"/>	Pools, Fountains, Gazebos and Pergolas	Commercial: -- Residential: 75	STAFF		
<input type="checkbox"/>	Porch Columns & Railings	Commercial: -- Residential: 51-52	HDBR/STAFF		
<input type="checkbox"/>	Porches	Commercial: -- Residential: 49-50	HDBR/STAFF		
<input type="checkbox"/>	Ramps and Lifts	Commercial: 61 Residential: 65-67	HDBR/STAFF		
<input type="checkbox"/>	Roofs	Commercial: 47 Residential: 53-54	HDBR/STAFF		
<input type="checkbox"/>	Shutters	Commercial: -- Residential: 55	HDBR/STAFF		
<input checked="" type="checkbox"/>	Siding	Commercial: -- Residential: 56-58	HDBR/STAFF	N/A	Hardie board
<input type="checkbox"/>	Signs	Commercial: 48-51 Residential: 59	STAFF		
<input type="checkbox"/>	Storefronts	Commercial: 52-55 Residential: --	HDBR/STAFF		
<input type="checkbox"/>	Storm Doors and Storm Windows	Commercial: 40-42, 56-59 Residential: 39 - 42, 60 - 63	STAFF		
<input type="checkbox"/>	Utilities	Commercial: 70 Residential: 78	STAFF		
<input type="checkbox"/>	Windows	Commercial: 56-59 Residential: 60-63	HDBR/STAFF		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		







1037 W Main St

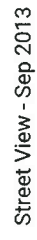
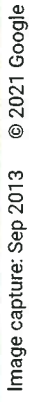


Image capture: Aug 2018 © 2021 Google

Madison, Indiana



Street View - Aug 2018



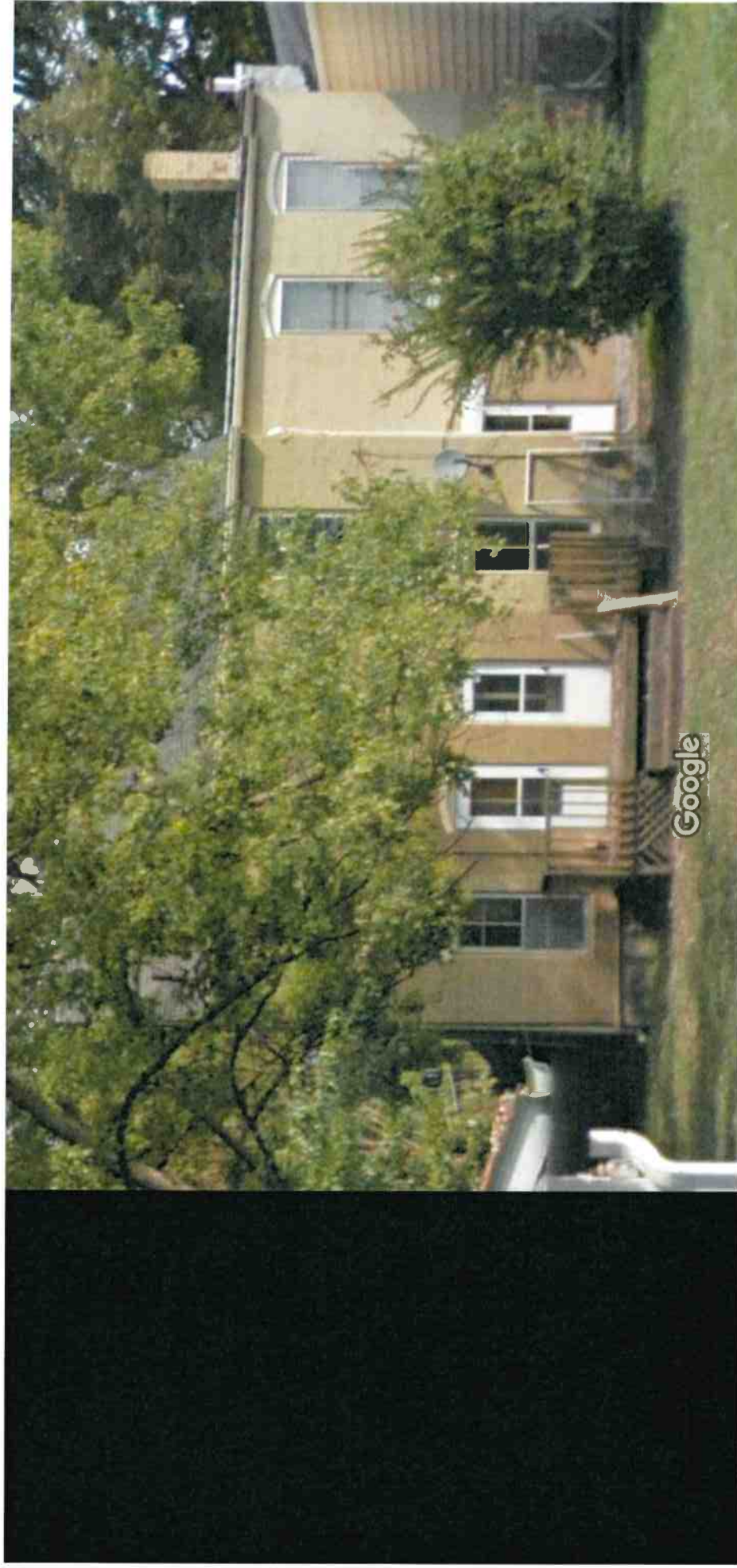


Image capture: Sep 2013 © 2021 Google



Street View - Sep 2013



2015 Flood Map

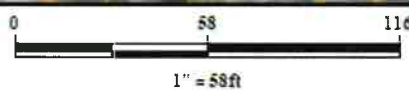
FLD_ZONE:

AE

- Regional Counties
- County Boundary
- Townships
- Water
- Parcels
- Corporate Boundaries
- Sewer Structures

- Addresses
- Common Addresses

- Regional Counties
- Regional Roads
- Regional Highways
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails





2015 Flood Map

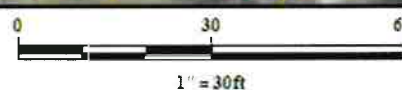
FLD_ZONE:

AE

- Regional Counties
- County Boundary
- Townships
- Water
- Parcels
- Corporate Boundaries
- Sewer Structures
- Addresses

- Regional Counties
- Regional Roads
- Regional Highways
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails

THINK





2015 Flood Map

FLD_ZONE:

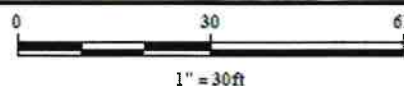
AE

- Regional Counties
- County Boundary
- Townships
- Water
- Parcels
- Corporate Boundaries
- Sewer Structures

Addresses

- Regional Counties
- Regional Roads
- Regional Highways
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails

THINK



Madison National Historic Landmark Inventory

Reconnaissance Survey Form

Location Information

Street Address: 1037 W. Main Street

Date: c. 1850 Architect:

Historic Name: House

Historic Function: Domestic: Single Dwelling

Common Name:

Description

Style: Italianate

Style 2:

Category: Building

Wall Cladding: common bond, stucco

Openings: 1/1 2/2 w/ brick segmental arches, stone lintels, 2 front doors w/ half lights, wood screens, segmental brick arches, transoms

Roof: shed roof w/ wide overhanging decorative eaves entablature supported by brackets, dentils in decorative cornice, brick chimney gable roof on addition, brick chimney

Foundation: Rubble stone

Plan: Irregular

Stories: 1

Outbuildings:

Objects:

Nat'l Feat-Topo: rise in rear of property

Water Features:

Circulation: linear path

Street Furniture

Vegetation: bushes

Spatial Rel: set back and parallel to road

Edges-Fences:

Views-Vistas:

Resource Count: Contributing: 1 NonContributing: . NR Status: Rating: C

Significance: NHL: C State: Local:

Criterion 1: x

Criterion 2:

Criterion 3:

Criterion 4: x

Criterion 5:

Criterion 6:

Areas of Significance: Architecture

Theme: Westward Expansion, 19th and 20th C. Architecture

Notes:

Architectural Description:

Final Site No. 285

Site Group: 2

Map: 2

HABS #:

USGS Quad:

Survey#

Surveyor: EKT

Survey Date: 7/16/2002

Photo Roll-Fr: Roll 33 # 21-24

Site Number: 2-253

Revision Date:

Current Function: Domestic: Single Dwelling

Additions: c. 1900



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 124 East St. to: demolish non-historic shed at alley & build 34'x40' garage with cement floor, tin siding, 10' overhead door, exterior security lighting, 4 vinyl 2'x3' windows on each side; building height 10'.



Application Date: September 30, 2021

HDBR Meeting Date: October 25, 2021

Project Description:

Certificate of Appropriateness application to demolish non-historic shed at alley & build 34'x40' garage with cement floor, tin siding, 10' overhead door, exterior security lighting, 4 vinyl 2'x3' windows on each side; building height 10'.

Current Zoning:

Specialty District (SD)

Project Location:

412 East St.

Applicant:

Gary Liter
220 Sunrise Dr.
Madison, IN 47250

Owner:

Same

Supporting Documents:

COA application
Photo of property
Drawing of garage plans
Site plan
Copy of HDBR meeting public sign
NHL survey sheet #1938
GIS map

Alterations, Historical Information, & Prior Approvals:	
Date	c. 1840
Style	Federal
Evaluation	Contributing
Survey Notes	Modern frame shed in rear yard



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Alterations:

Wavy-edged asbestos siding

Historical Information/Misc. Important Information:

N/A

Prior COA Approvals:

N/A

Staff Recommendations, Guidelines, Standards, & Ordinances

HDBR Guidelines:

Madison Residential Design Review Guidelines – New Construction-Infill Buildings –
pg. 69-71

Where historic buildings have been lost or where there are vacant lots, new construction is encouraged to add to the streetscape and promote economic development. Infill construction in Madison's residential areas should be compatible with adjacent buildings in scale, height, materials, orientation, shape, placement, and rhythm and proportion of openings. Contemporary designs are encouraged but replicas of historic designs may also be acceptable.

1. New buildings should be compatible with adjacent buildings in terms of height.
2. New buildings should be compatible with adjacent buildings in terms of materials.
3. New buildings should be compatible with adjacent buildings in terms of set back.
4. New buildings should be compatible with adjacent buildings in terms of scale and proportions.
5. New buildings should be compatible with adjacent buildings in terms of roof form.
6. New construction should be oriented toward the major street.
7. New garages should be built at the rear of a dwelling or set well back on side elevations.

Madison Residential Design Review Guidelines – Demolition p. 80

The buildings that contribute to the historic residential character of the historic district neighborhoods are irreplaceable physical evidence of Madison's past. The loss of any historic building affects not only the individual building, but the surrounding landscape.

1. Demolition may be appropriate if the building does not contribute to the historic character of the district.



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

2. Applicants for demolition should explore possibilities for selling or reusing historic buildings, preferably onsite but also in other locations, as alternatives to demolition. Applicants should consider mothballing the building, which involves developing a strategy for halting deterioration, protecting from vandalism, and stabilizing the building structurally until such time that proper rehabilitation or restoration may commence.
3. Demolition may be appropriate if the denial of the demolition will result in a demonstrable economic hardship on the owner. Moving a building from its historic location will be approved only if all other alternatives for preservation have been explored.
4. Demolition by neglect occurs when a building is allowed to deteriorate through lack of maintenance. It is a self-imposed hardship that will not be considered a mitigating circumstance when determining economic hardship.

Conformance with Guidelines, Ordinance & Standards:

The project **is in** conformance with Infill Guidelines 1-5, & 7 because the proposed garage will be in conformance to others along the alley in terms of size, shape, design, massing, and appropriate materials **with the exception** of the vinyl windows; **is in** conformance with Demolition Guideline 1 because the existing shed is does not contribute to the historic character of the neighborhood and is not itself historic. This project **is in** conformance with the ordinance because the proposed materials are compatible with the predominant materials used in the construction of modern and historic garages and the size, massing, scale, etc. is appropriate to the primary home structure and neighboring garage structures.

Ordinance:

§151.34 Visual Compatibility Factors

Within the primary area, new construction and existing buildings and structures and appurtenances thereof which are moved, reconstructed, materially altered, or repaired shall be visually compatible with buildings, squares, and places to which they are visually related generally in terms of the following factors:

- (A) Height. The height of proposed buildings shall be visually compatible with adjacent buildings.
- (B) Proportion of building's front facade. The relationship of the width of building to the height of the front elevation shall be visually compatible to buildings, squares, and places to which it is visually related.
- (C) Proportion of openings within the facade. The relationship of the width of the windows to height of windows in a building shall be visually compatible with buildings, squares, and places to which the building is visually related.
- (D) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, squares, and places to which it is visually related.



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

(E) Rhythm of spacing of buildings on streets. The relationship of the building to open space between it and adjoining buildings shall be visually compatible to the buildings, squares, and places to which it is visually related.

(F) Rhythm of entrance or porch projection. The relationship of entrances and porch projections to sidewalks of buildings, squares, and places shall be visually compatible to the buildings to which it is visually related.

(G) Relationship of materials, and texture. The relationship of materials, and texture of the facade of a building shall be visually compatible with the predominant materials used in the buildings to which it is visually related.

(H) Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

(I) Walls of continuity. Appurtenances of a building such as walls, wrought iron, fences, evergreen landscape masses, and building facades, shall, if necessary, form cohesive walls of enclosure along a street, to insure visual compatibility of the building to the buildings, squares, and places to which it is visually related.

(J) Scale of a building. The size of a building, the building mass of a building in relation to open spaces, the windows, door openings, porches, and balconies shall be visually compatible with the buildings, squares, and places to which it is visually related.

Secretary of the Interior Standards:

Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

This project is in conformance with SIS Standards for Rehabilitation 1 because it will maintain the historic and current use of the space and functionality while also allowing for the needs of modern families to be met with a more functional garage space.

Preservation Brief:

N/A



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Think GIS Map



For Staff Use Only

HDBR Meeting Date: _____

Action: _____ HDBR/Staff COA
_____ HDBR Extended
_____ HDBR/Staff Denied
_____ Sent to HDBR by Staff

Date Received: _____

RECEIVED

SEP 30 2021

Application Requirements

All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required (see page 2), and the application fee.

Application Deadline

Applications for January-November are due by 4:00 p.m. on the first Monday of the month. Applications for December are due by 4:00 p.m. on the fourth Monday of November.

Application Submission

Return one copy of this completed application, application fee, and all supporting documents to:

City of Madison, IN
Office of Historic Preservation
101 W. Main St., Madison, IN 47250
Phone: (812) 274 - 0283
Fax: (812) 265 - 3349

Email: preservation@madison-in.gov
A fee is not required for Staff review projects. Please check with staff before writing a check. The application fee (payable by cash or check made out to Madison City Plan Commission) is \$15.00 for projects which require HDBR Review and \$2.00 for each notification sign.

Application Hearing

Complete applications submitted by the deadline will be heard before the Madison Historic District Board of Review at their regular meeting held every fourth Monday of January—November and on the third Monday of December. The meetings are at 5:30 p.m. in the City Hall, 101 W Main St, Madison, IN 47250.



Application for Certificate of Appropriateness (COA)

City of Madison, IN
Historic District Board of Review

Project Information

Address of property for proposed work: 412 East St.
(Street Number - Street Name)

Type of Project (Check all that apply):

- ☒ New Building ☐ Sign
☐ Addition to Building ☐ Relocating a building
☐ Rebuilding, Restoration, Rehabilitation, Remodel ☐ Demolition
☐ Fence or Wall ☐ Other _____

Contractor: Self + Tom Wynn

***Applicant Mailing Address:**

Name(s): Gary L. Litter

Mailing Address: 220 Sunrise Dr.
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 812-292-0903 Email Address: g.litter@yahoo.com

Owner Mailing Address:

Name(s): Same

Mailing Address: _____
(Street Number - Street Name - City - State - Zip Code)

Phone Number: _____ Email Address: _____

*Note: If the applicant is not the owner, the legal notice and notification signage will include both the Applicant's name and the Owner's Name. Applicants must have owners permission to do proposed work.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.

Signature of Applicant/Owner

Date

Application for Certificate of Appropriateness (COA) Page - 2

City of Madison, IN
Historic District Board of Review

Required Supporting Documents

The following list includes the supporting documents necessary for review of a particular project. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

Repair, Replace, or Repair/Replace:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- ☐ Photographs (current/proposed) with captions
- ☐ Samples/brochures

New Buildings and New Additions:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☒ Site Plan MUST have all four (4) setbacks labeled.
- ☒ Floor Plan
- ☒ Photographs of proposed site and adjoining properties with captions
- ☐ Samples/brochures

Sign and Fence/Walls:

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ Additional Information Sheet

Moving Buildings:

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

Demolition:

- ☐ Photographs with captions

Project Description

If the proposed scope of work will include more than one type of project please divide the description into sections.

(Example: 1. south side, replace 2 upper wood windows with wood windows; 2. roof, replace metal roof with asphalt shingles)

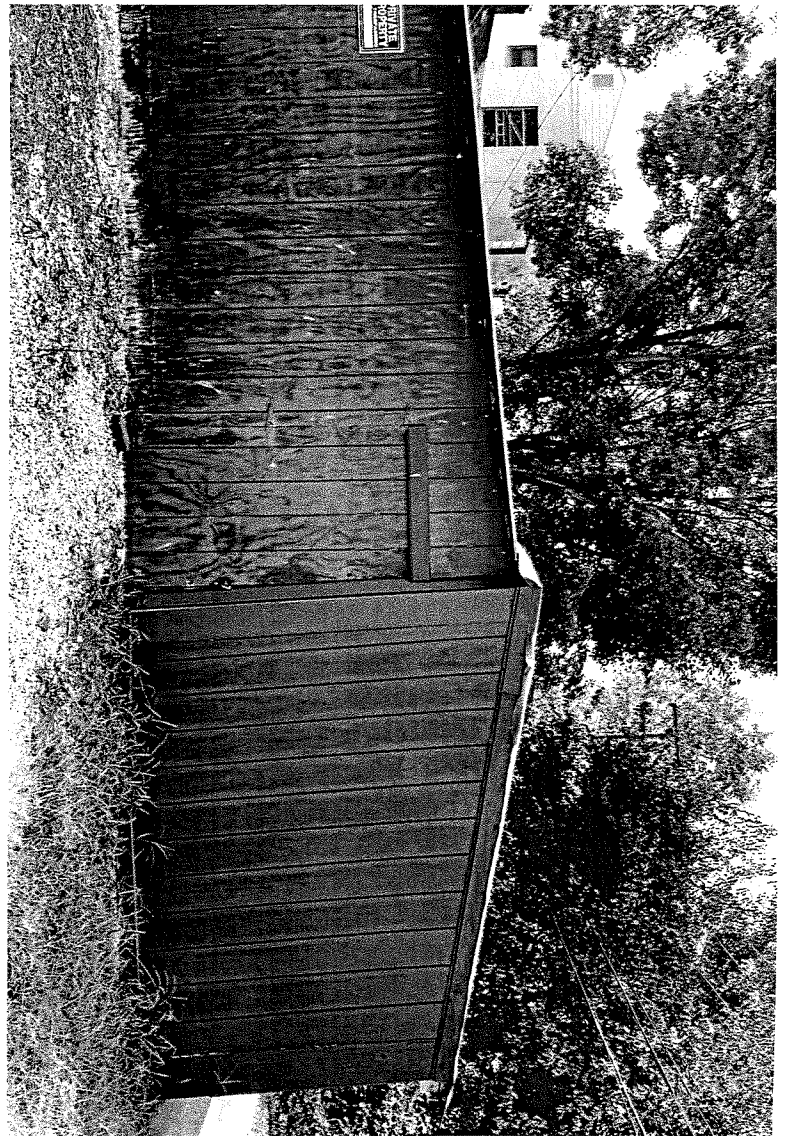
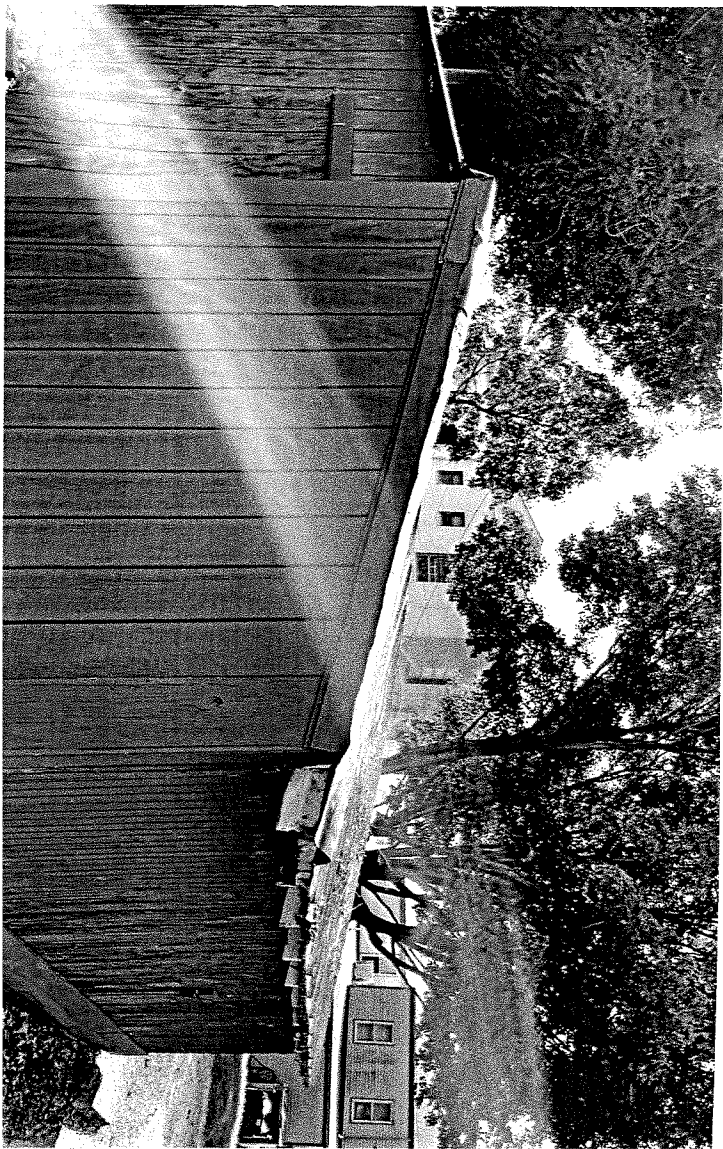
Tear down an existing dilapidated dirt floor building and replace with a new 24' X 40' Garage with cement floor. Building will be gray tin siding with a red tin roof with a 10' opening with a garage door. Building will have electric with exterior security lighting. Building will have 4 2' X 3' vinyl windows on each 40' side. Building height is 10'

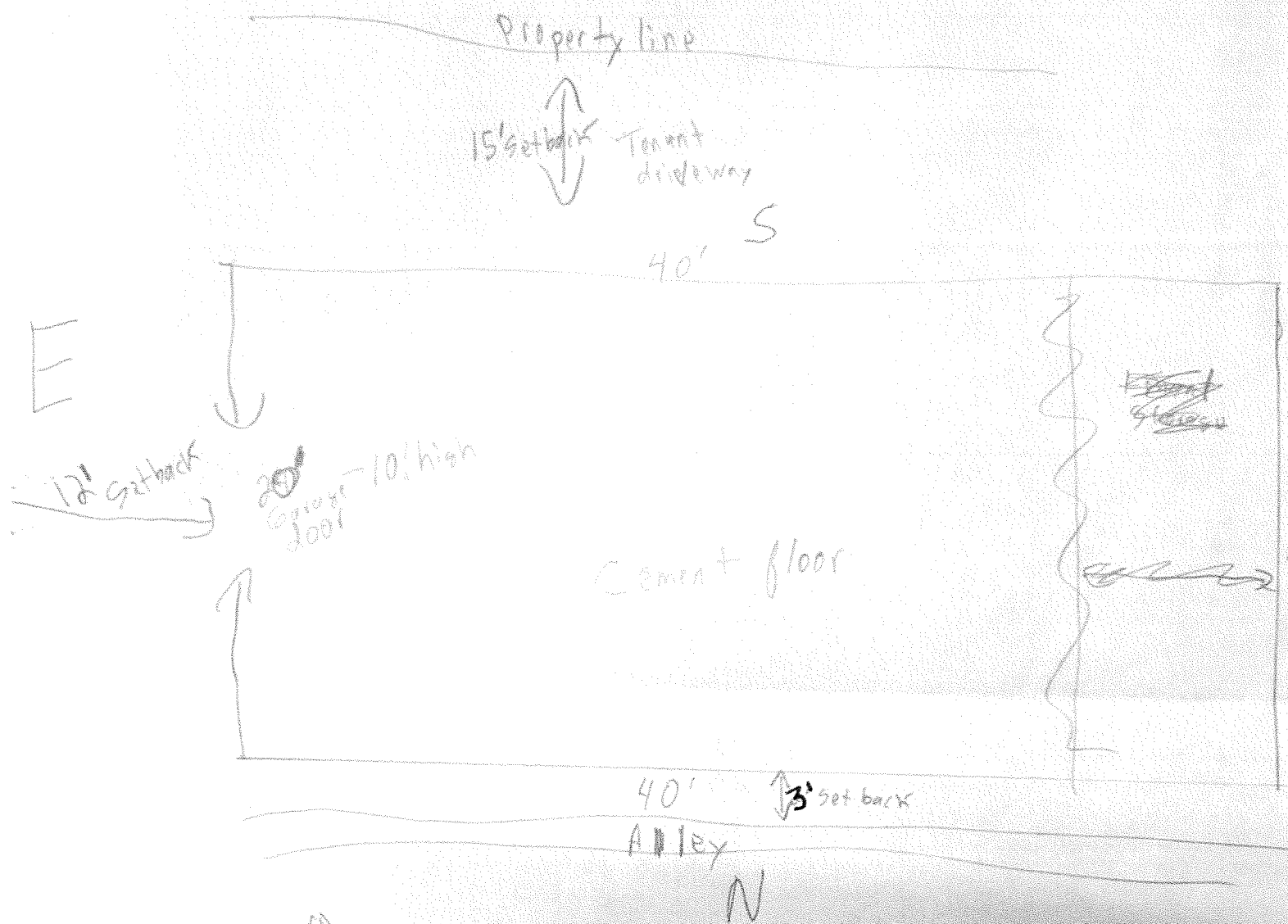
☐ Continued on additional sheet

Application for Certificate of Appropriateness (COA) Page - 3

City of Madison, IN
Historic District Board of Review

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input type="checkbox"/>	Additions	Commercial: 62-63 Residential: 68	HDBR		
<input type="checkbox"/>	Awnings	Commercial: 34-35 Residential: 35	STAFF		
<input type="checkbox"/>	Brickwork/Masonry	Commercial: 36-39 Residential: 36 - 37	HDBR/STAFF		
<input type="checkbox"/>	Chimneys	Commercial: -- Residential: 38	HDBR/STAFF		
<input type="checkbox"/>	Deck	Commercial: 60 Residential: 64	HDBR/STAFF		
<input type="checkbox"/>	Demolition	Commercial: 71-72 Residential: 80-81	HDBR		
<input checked="" type="checkbox"/>	Doors & Entrances	Commercial: 40-42 Residential: 39-42	HDBR/STAFF		
<input type="checkbox"/>	Fences and Walls	Commercial: -- Residential: 73	STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	Commercial: 43 Residential: 43	HDBR/STAFF		
<input type="checkbox"/>	Foundations	Commercial: -- Residential: 44	STAFF		
<input checked="" type="checkbox"/>	Garages & Outbuildings	Commercial: -- Residential: 45	HDBR/STAFF		
<input checked="" type="checkbox"/>	Gutters & Downspouts	Commercial: 44 Residential: 46	STAFF		
<input type="checkbox"/>	Infill Buildings and New Construction	Commercial: 64-66 Residential: 69-71	HDBR		
<input checked="" type="checkbox"/>	Lighting	Commercial: 45 Residential: 47	STAFF		
<input type="checkbox"/>	Pools, Fountains, Gazebos and Pergolas	Commercial: -- Residential: 75	STAFF		
<input type="checkbox"/>	Porch Columns & Railings	Commercial: -- Residential: 51-52	HDBR/STAFF		
<input type="checkbox"/>	Porches	Commercial: -- Residential: 49-50	HDBR/STAFF		
<input type="checkbox"/>	Ramps and Lifts	Commercial: 61 Residential: 65-67	HDBR/STAFF		
<input type="checkbox"/>	Roofs	Commercial: 47 Residential: 53-54	HDBR/STAFF		
<input type="checkbox"/>	Shutters	Commercial: -- Residential: 55	HDBR/STAFF		
<input type="checkbox"/>	Siding	Commercial: -- Residential: 56-58	HDBR/STAFF		
<input type="checkbox"/>	Signs	Commercial: 48-51 Residential: 59	STAFF		
<input type="checkbox"/>	Storefronts	Commercial: 52-55 Residential: --	HDBR/STAFF		
<input type="checkbox"/>	Storm Doors and Storm Windows	Commercial: 40-42, 56-59 Residential: 39 - 42, 60 - 63	STAFF		
<input type="checkbox"/>	Utilities	Commercial: 70 Residential: 78	STAFF		
<input type="checkbox"/>	Windows	Commercial: 56-59 Residential: 60-63	HDBR/STAFF		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		





- 1.) metal roof & siding - Gray siding & Red roof
- 2.) 2 2x3' windows on each 40' side
- 3.) Using 4/A Roof trusses
- 4.) Posts to be Anchored to Concrete floor

Madison National Historic Landmark Inventory

Reconnaissance Survey Form

Location Information

Street Address: 412 East Street

Date: c. 1840 Architect:

Historic Name: House

Historic Function: Domestic: Single Dwelling

Common Name:

Description

Style: Federal

Current Function: Domestic: Single Dwelling

Style 2:

Additions:

Category: Building Wall Cladding: wavy-edged asbestos siding

Openings: pael door with upper transom light, 1/1 windows, all with wood surrounds

Roof: side gable low pitch with overhanging eaves

Foundation: not visible

Plan: Rectangular

Stories: 2

Outbuildings: modern frame shed in rear yard

Objects: n/a

Nat'lFeat-Topo: flat ground

Water Features: n/a

Circulation: alley along north edge of property

Street Furniture: n/a

Vegetation: street trees, and trees in rear yard

Spatial Rel: faces and aligned with East Street, abuts sidewalk

Edges-Fences: n/a

Views-Vistas: n/a

Resource Count: Contributing: 1 NonContributing: . NR Status: Rating: C

Significance:

NHL:

C

State:

Local:

Criterion 1: X

Criterion 2:

Criterion 3:

Criterion 4: X

Criterion 5:

Criterion 6:

Areas of Significance: Architecture, Community Planning and Development

Theme: 19th and 20th C. Architecture, Westward Expansion

Notes:

Architectural Description:



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

PROJECT BRIEF

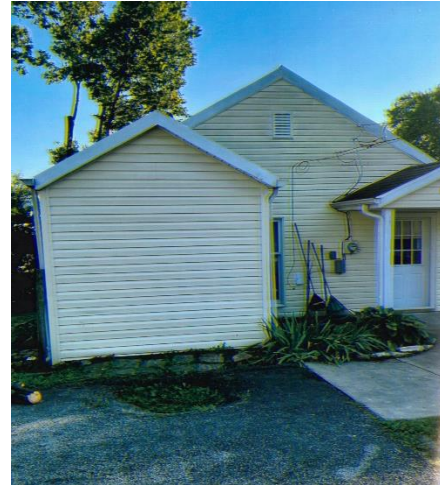
Historic District Board of Review Application for Certificate of Appropriateness at 820 Fillmore St. to: extend the existing room by 3' on north/east corner of home using same materials as existing; tear off existing deck & replace with larger deck 22'x25' with gable roof using same materials as current.

Application Date: October 1, 2021

HDBR Meeting Date: October 25, 2021

Project Description:

Certificate of Appropriateness application to extend the existing room by 3' on north/east corner of home using same materials as existing; tear off existing deck & replace with larger deck 22'x25' with gable roof using same materials as current.



Current Zoning:

Historic District Residential (HDR)

Project Location:

820 Fillmore St.

Applicant:

Kristi Nichols/Patrick Lynch
215 E. Main St., Ste. 2000
Madison, IN 47250

Owner:

Same

Supporting Documents:

COA application
Photo of property & inspiration ideas
Architectural drawings of proposed addition & deck
Copy of HDBR meeting public sign
NHL survey sheet #1838
GIS map

Date	c. 1990
Style	Modern Movement
Evaluation	Non-Contributing
Survey Notes	



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Alterations, Historical Information, & Prior Approvals:

Alterations:

N/A

Historical Information/Misc. Important Information:

N/A

Prior COA Approvals:

N/A

Staff Recommendations, Guidelines, Standards, & Ordinances

HDBR Guidelines:

Madison Residential Design Review Guidelines – New Construction-Additions p. 68

In planning additions the best approach is to site additions where they will not be visible from the street, or where they will have the least effect on the building's overall form and plan. The rear of buildings is the best locations for the addition of rooms, wings, porches, or decks. Enlarging a property through adding additional stories is not appropriate except at rear roof lines which are not readily visible.

1. Additions to historic homes should be located at the rear of buildings, not on the front or sides of buildings where they are readily visible from the street.
2. Additions should be secondary (smaller and simpler) than the original building in scale, design, and placement.
3. Additions should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights.
4. Additions should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a Colonial Revival house.
5. The recommended approach is for additions to reflect characteristics of the current period in design but compatible with the original building.
6. To avoid extensive removal, damage, or loss of historic materials, additions should keep the exterior walls of the original building as intact as possible and use existing door and window openings for connecting the addition to the building.

Madison Residential Design Review Guidelines – Decks p. 64

Porches are preferred to decks but decks are acceptable at the rear facade. Decks on the sides of buildings are also acceptable if they are not readily visible from the street.



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

1. Decks should be located at the rear of buildings. If built on the side of a building the deck should be screened from street view with fencing and/or appropriate native evergreen plants and shrubs.
2. Wood decks should be of simple design with square, wood, balusters 2" wide and spaced no more than 3" apart.
3. Decks should be stained or painted to match or blend with the colors of the building.

Conformance with Guidelines, Ordinance & Standards:

The project is in conformance with Additions Guidelines 1-6 because the proposed addition will have a minimal visual impact, utilizes existing materials, is of compatible design, and reflects the current trends in design and construction; is in conformance with Decks Guidelines 1-3 because the proposed deck will be located in the same spot as the existing deck and will be constructed of conforming materials.

Ordinance:

151.34 Visual Compatibility Factors

(G) Relationship of materials, and texture. The relationship of materials, and texture of the facade of a building shall be visually compatible with the predominant materials used in the buildings to which it is visually related.

Secretary of the Interior Standards:

Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

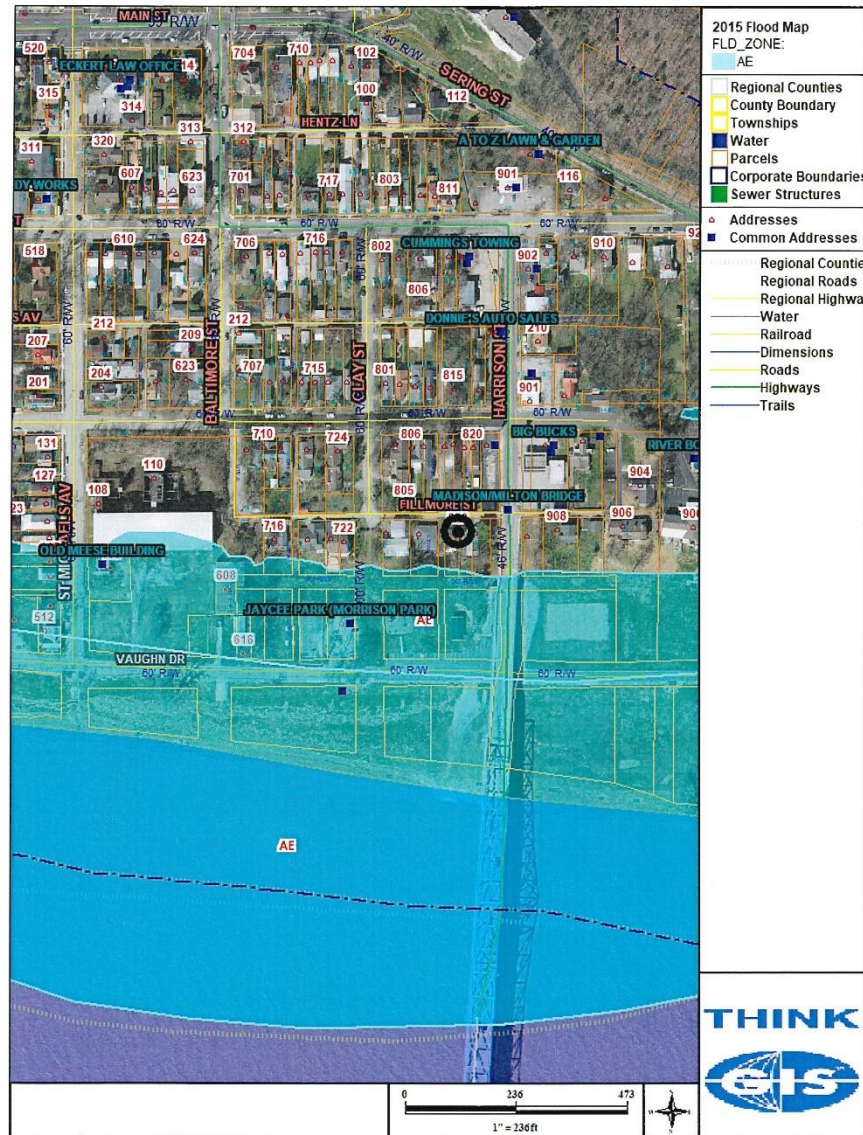
Preservation Brief:

N/A



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Think GIS Map



For Staff Use Only

HDBR Meeting Date: _____

Action: ☐ HDBR/Staff COA
☐ HDBR Extended
☐ HDBR/Staff Denied
☐ Sent to HDBR by Staff

Date Received: _____

RECEIVED

OCT 01 2021

Application Requirements

All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required (see page 2), and the application fee.

Application Deadline

Applications for January-November are due by 4:00 p.m. on the first Monday of the month. Applications for December are due by 4:00 p.m. on the fourth Monday of November.

Application Submission

Return one copy of this completed application, application fee, and all supporting documents to:

City of Madison, IN

Planning, Preservation, & Design Office
101 W. Main St., Madison, IN 47250

Phone: (812) 274 - 0283

Email: bpeach@madison-in.gov

or nschell@madison-in.gov

A fee is not required for Staff review projects. Please check with staff before writing a check. The application fee (payable by cash or check made out to Madison City Plan Commission) is \$15.00 for projects which require HDBR Review and \$2.00 for each notification sign.

Application Hearing

Complete applications submitted by the deadline will be heard before the Madison Historic District Board of Review at their regular meeting held every fourth Monday of January—November and on the third Monday of December. The meetings are at 5:30 p.m. in the City Hall, 101 W Main St, Madison, IN 47250.



Application for Certificate of Appropriateness (COA)

**City of Madison, IN
Historic District Board of Review**

Project Information

Address of property for proposed work: 820 Fillmore Street Madison Indiana 47250
(Street Number - Street Name)

Type of Project (Check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> New Building | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Addition to Building | <input type="checkbox"/> Relocating a building |
| <input checked="" type="checkbox"/> Rebuilding, Restoration, Rehabilitation, Remodel | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Fence or Wall | <input type="checkbox"/> Other _____ |

Contractor: _____

***Applicant Mailing Address:**

Name(s): Kristi Nichols / Patrick Lynch

Mailing Address: 215 East Main Street Suite 2000 Madison Indiana 47250
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 812-599-6609 Email Address: nichols27k@gmail.com

Owner Mailing Address:

Name(s): Kristi Nichols / Patrick Lynch


Mailing Address: 215 East Main Street Suite 2000 Madison Indiana 47250
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 812-599-6609 Email Address: nichols27k@gmail.com

*Note: If the applicant is not the owner, the legal notice and notification signage will include both the Applicant's name and the Owner's Name. Applicants must have owners permission to do proposed work.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.


Signature of Applicant/Owner

09/28/21

Date

Application for Certificate of Appropriateness (COA) Page - 2

City of Madison, IN
Historic District Board of Review

Required Supporting Documents

The following list includes the supporting documents necessary for review of a particular project. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

Repair, Replace, or Repair/Replace:

- ☒ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☒ Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- ☒ Photographs (current/proposed) with captions
- ☒ Samples/brochures

New Buildings and New Additions:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled.
- ☒ Floor Plan
- ☐ Photographs of proposed site and adjoining properties with captions
- ☐ Samples/brochures

Sign and Fence/Walls:

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ Additional Information Sheet

Moving Buildings:

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

Demolition:

- ☐ Photographs with captions

Project Description

If the proposed scope of work will include more than one type of project please divide the description into sections.

(Example: 1. south side, replace 2 upper wood windows with wood windows; 2. roof, replace metal roof with asphalt shingles)

1.) Extension of existing Room by 3ft.
on the North/East corner of the
home. Using same Material type
as existing.

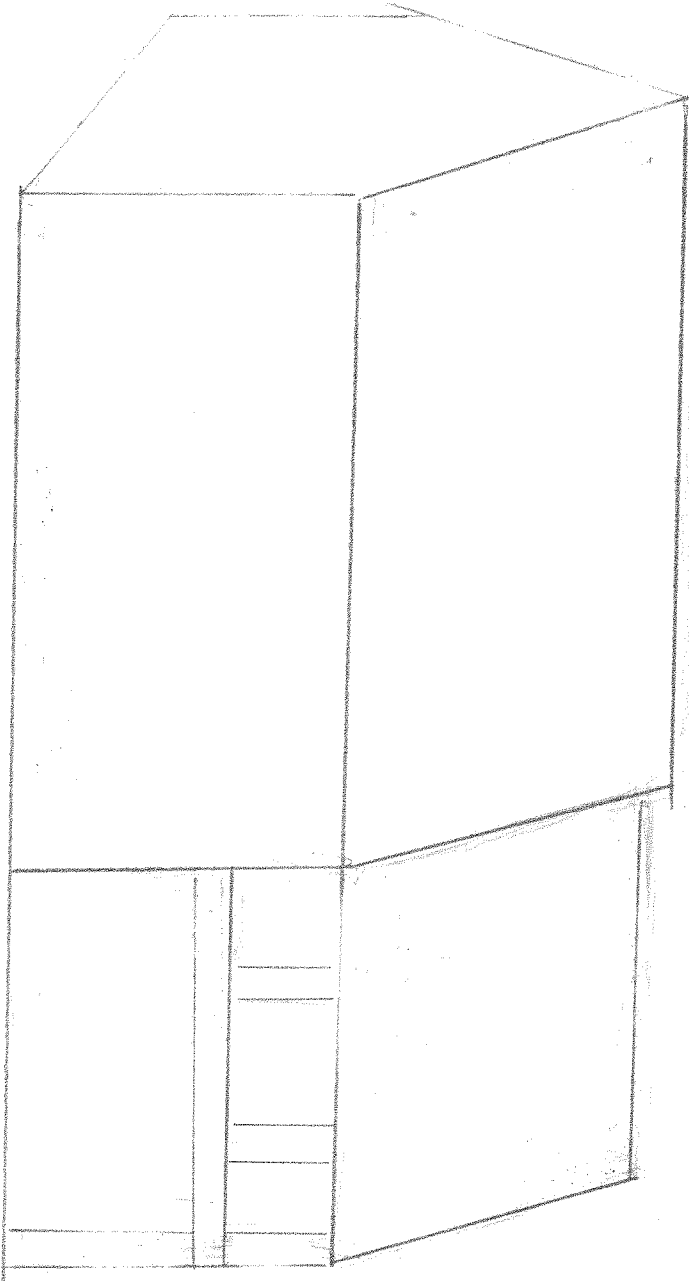
2.) Tear off existing deck.
Replace with larger deck and gable
Roof. 22 x 25 ft. Using same
Material as current.

☐ Continued on additional sheet

Application for Certificate of Appropriateness (COA) Page - 3

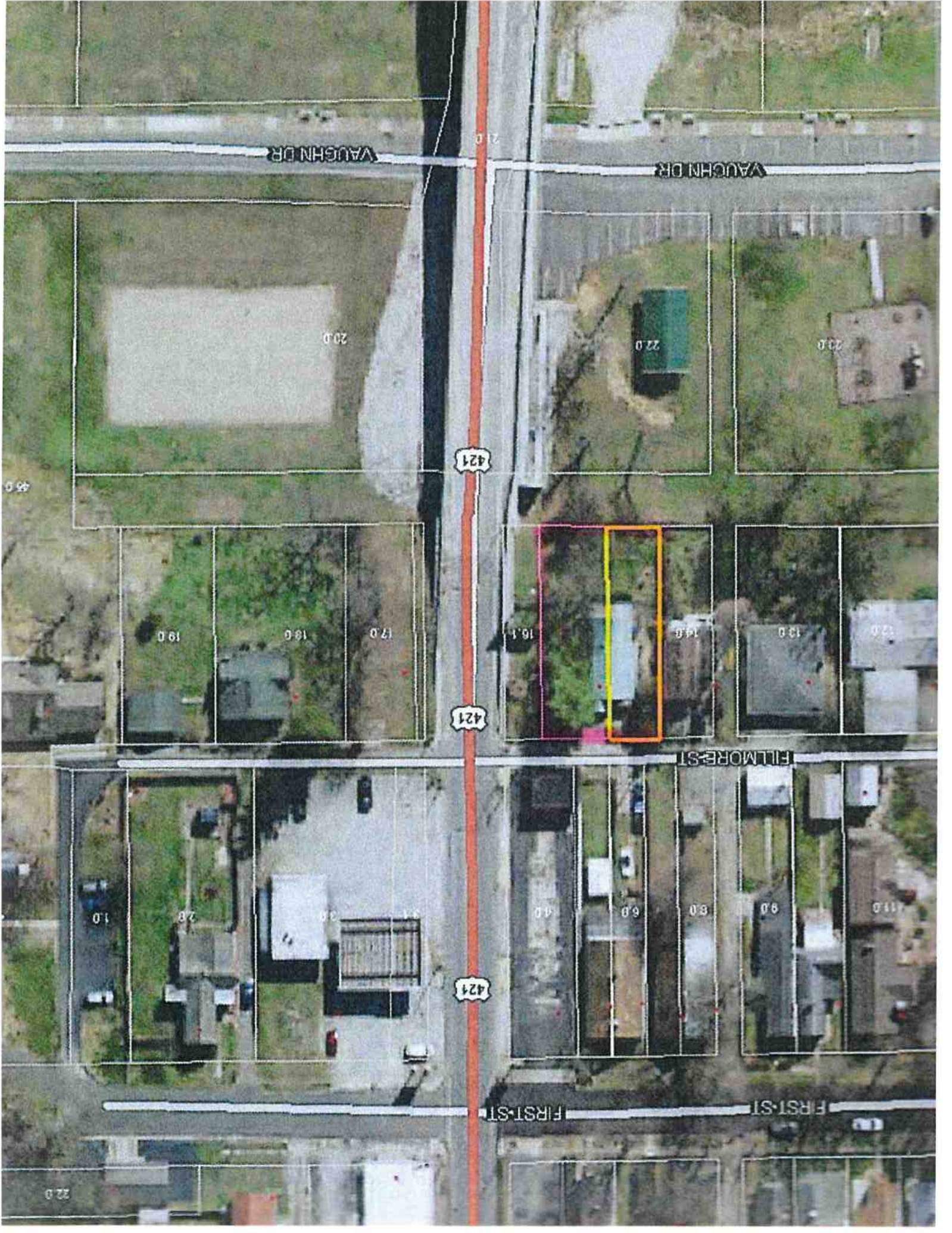
City of Madison, IN
Historic District Board of Review

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input checked="" type="checkbox"/>	Additions	Commercial: 62-63 Residential: 68	HDBR	Concrete, Vinyl Wood, metal	Concrete, Vinyl Wood, metal
<input type="checkbox"/>	Awnings	Commercial: 34-35 Residential: 35	STAFF		
<input type="checkbox"/>	Brickwork/Masonry	Commercial: 36-39 Residential: 36 - 37	HDBR/STAFF		
<input type="checkbox"/>	Chimneys	Commercial: -- Residential: 38	HDBR/STAFF		
<input checked="" type="checkbox"/>	Deck	Commercial: 60 Residential: 64	HDBR/STAFF	Wood, metal	Wood metal
<input type="checkbox"/>	Demolition	Commercial: 71-72 Residential: 80-81	HDBR		
<input type="checkbox"/>	Doors & Entrances	Commercial: 40-42 Residential: 39-42	HDBR/STAFF		
<input type="checkbox"/>	Fences and Walls	Commercial: -- Residential: 73	STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	Commercial: 43 Residential: 43	HDBR/STAFF		
<input type="checkbox"/>	Foundations	Commercial: -- Residential: 44	STAFF		
<input type="checkbox"/>	Garages & Outbuildings	Commercial: -- Residential: 45	HDBR/STAFF		
<input type="checkbox"/>	Gutters & Downspouts	Commercial: 44 Residential: 46	STAFF		
<input type="checkbox"/>	Infill Buildings and New Construction	Commercial: 64-66 Residential: 69-71	HDBR		
<input type="checkbox"/>	Lighting	Commercial: 45 Residential: 47	STAFF		
<input type="checkbox"/>	Pools, Fountains, Gazebos and Pergolas	Commercial: -- Residential: 75	STAFF		
<input type="checkbox"/>	Porch Columns & Railings	Commercial: -- Residential: 51-52	HDBR/STAFF		
<input type="checkbox"/>	Porches	Commercial: -- Residential: 49-50	HDBR/STAFF		
<input type="checkbox"/>	Ramps and Lifts	Commercial: 61 Residential: 65-67	HDBR/STAFF		
<input type="checkbox"/>	Roofs	Commercial: 47 Residential: 53-54	HDBR/STAFF		
<input type="checkbox"/>	Shutters	Commercial: -- Residential: 55	HDBR/STAFF		
<input type="checkbox"/>	Siding	Commercial: -- Residential: 56-58	HDBR/STAFF		
<input type="checkbox"/>	Signs	Commercial: 48-51 Residential: 59	STAFF		
<input type="checkbox"/>	Storefronts	Commercial: 52-55 Residential: --	HDBR/STAFF		
<input type="checkbox"/>	Storm Doors and Storm Windows	Commercial: 40-42, 56-59 Residential: 39 - 42, 60 - 63	STAFF		
<input type="checkbox"/>	Utilities	Commercial: 70 Residential: 78	STAFF		
<input type="checkbox"/>	Windows	Commercial: 56-59 Residential: 60-63	HDBR/STAFF		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		



The deck will be no wider
than the current existing
deck of 22 ft wide

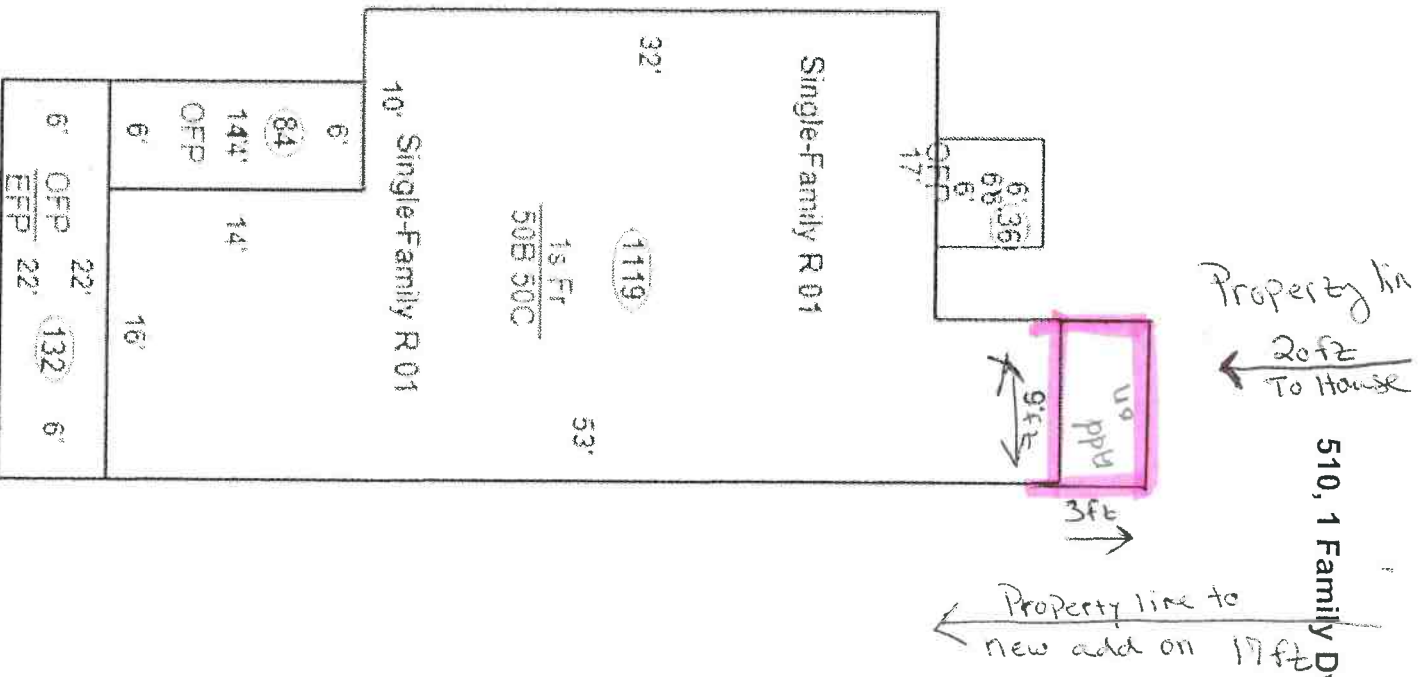
Back of new deck will be 32 ft
from property line



510.1 Family Dwell - Platted Lot

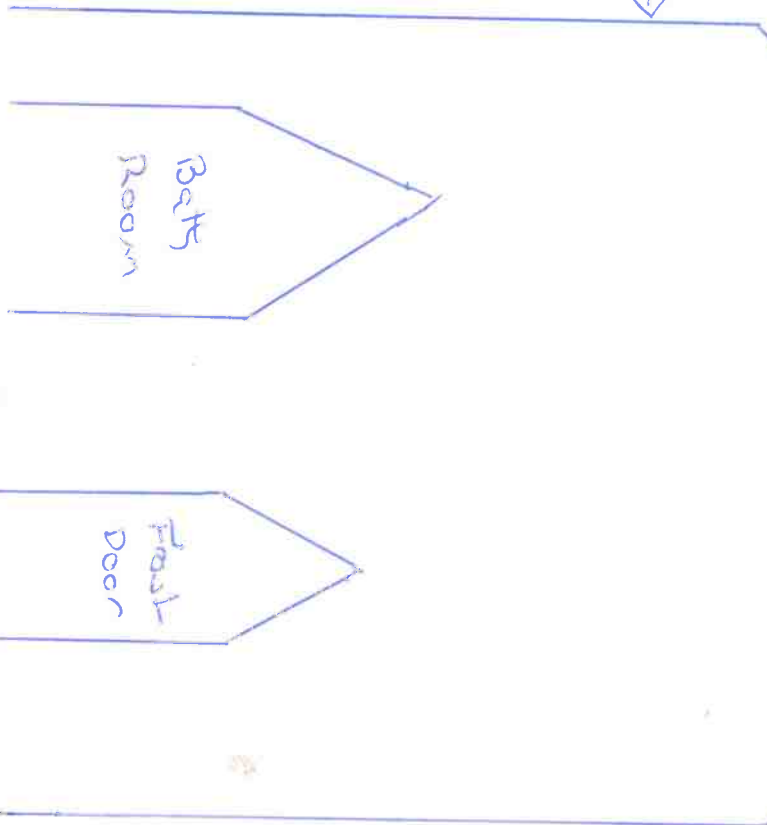
Cost Ladder

Floor	Constr	Base	Finish
1	Wood Frame	1119	1119
2			
3			
4			
1/4			
1/2			
3/4			
Attic			
Bsmt		560	0
Crawl		560	0
Slab			



East Property Line

35'



Back Property Line

15'

West Property Line

18'

Front Property Line

22'











Madison National Historic Landmark Inventory

Reconnaissance Survey Form

Location Information

Street Address: 820 Fillmore Street

Date: c. 1990 Architect:

Historic Name: House

Historic Function: Domestic: Single Dwelling

Common Name:

Description

Style: Modern Movement

Current Function: Domestic: Single Dwelling

Style 2:

Additions:

Category: Building Wall Cladding: vinyl siding

Openings: modern multilight door, modern 1/1 windows

Roof: front gable, modern standing seam metal roof, closed eaves on part, overhanging on some

Foundation: Concrete Plan: irregular Stories: 1.5

Outbuildings:

Objects: n/a

Nat'l Feat-Topo: sits on hill as land drops to river level, house is split level

Water Features: n/a

Circulation: curvilinear concrete paths to entry, linear paved parking parallel to road

Street Furniture: n/a

Vegetation: many trees and shrubs in east yard

Spatial Rel: faces and aligned with Fillmore Street and the River

Edges-Fences: retaining wall for Madison-Milton Bridge ramp Views-Vistas: Ohio River view to south
at east of property, retaining wall rear

Resource Count: Contributing: NonContributing: 1NIP NR Status: Rating: N/C

Significance: NHL: N/C State: Local:

Criterion 1:

Criterion 2:

Criterion 3:

Criterion 4:

Criterion 5:

Criterion 6:

Areas of Significance:

Theme:

Notes:

Architectural Description:



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

PROJECT BRIEF

*Historic District Board of Review Application for
Certificate of Appropriateness at 214-16 W. Second St.
to: demolish two rear chimneys.*

Application Date: October 6, 2021

HDBR Meeting Date: October 25, 2021

Project Description:

Certificate of Appropriateness application to
demolish two rear chimneys.



Current Zoning:

Historic District Residential (HDR)

Project Location:

214-16 W. Second St.

Applicant:

Chris & Gina Lynn
214-16 W. Second St.
Madison, IN 47250

Owner:

Same

Supporting Documents:

COA application
Photo of chimneys
Copy of HDBR meeting public sign
NHL survey sheet #945
GIS map

Date	c. 1870
Style	Italianate
Evaluation	Contributing
Survey Notes	

Alterations, Historical Information, & Prior Approvals:



Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Alterations:

Easternmost chimney has already been demolished. Westernmost chimney has partially collapsed years ago (photos from 2013 show the chimney collapsed).

Historical Information/Misc. Important Information:

Former duplex currently being rehabilitated into a single-family home

Prior COA Approvals:

Replace western front door with window; build garage; build architectural surround around eastern front door; replace eastern side door with the former western front door.

Staff Recommendations, Guidelines, Standards, & Ordinances

HDBR Guidelines:

Madison Residential Design Review Guidelines – Chimneys p. 38

Chimneys often feature decorative brickwork or designs that contribute to a building's architectural character. Chimneys should be maintained and preserved in accordance with the brick and mortar guidelines.

1. Chimneys should not be removed or altered if original or architecturally significant.
2. Chimneys should be re-pointed and cleaned according to masonry guidelines to match original materials, colors, shape, and brick pattern.
3. If a chimney becomes unstable or has already collapsed, rebuild to match original design.
4. Chimney caps should be of clay, slate, metal, or stone.
5. Chimneys should not be covered with stucco or other veneers.

Conformance with Guidelines, Ordinance & Standards:

The project is **not in** conformance with Chimneys Guidelines 1-5 because the proposed demolition will mean the removal to two significant chimneys from the rear alley-view façade and neither will be rebuilt.

Ordinance:

151.34 Visual Compatibility Factors

(H) Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Secretary of the Interior Standards:

Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

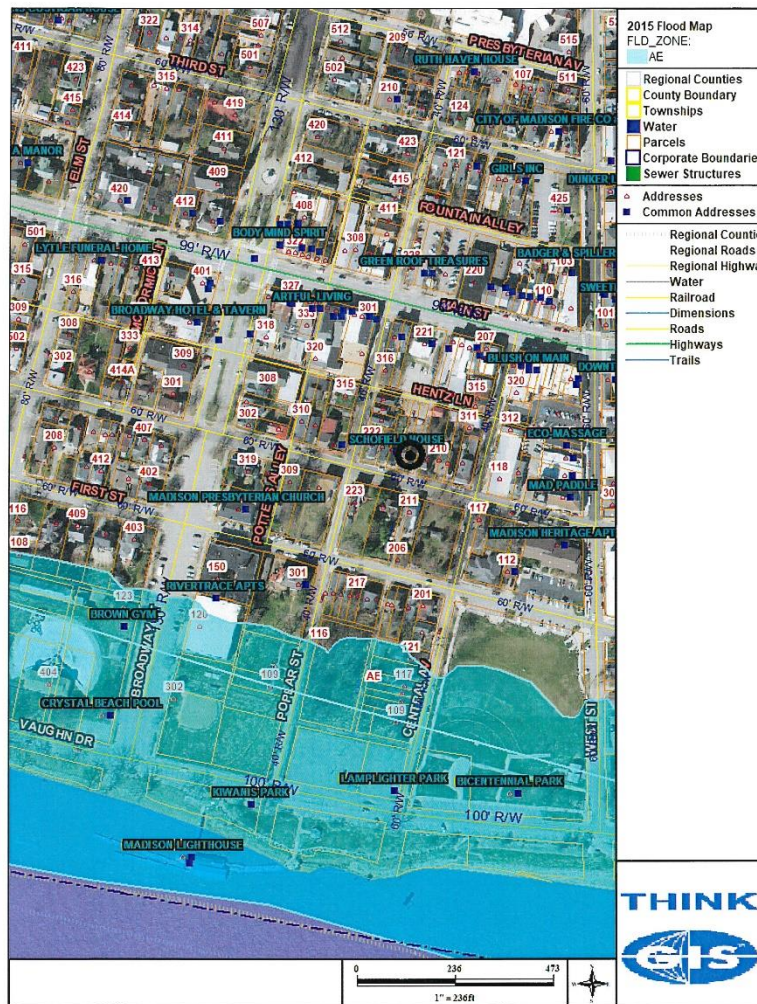


Historic District Board of Review
Office of Historic Preservation
City of Madison, IN

Preservation Brief:

N/A

Think GIS Map



For Staff Use Only

HDBR Meeting Date: _____

Action: _____ HDBR/Staff COA
_____ HDBR Extended
_____ HDBR/Staff Denied
_____ Sent to HDBR by Staff

Date Received: _____



Application Requirements

All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required (see page 2), and the application fee.

Application Deadline

Applications for January–November are due by 4:00 p.m. on the first Monday of the month. Applications for December are due by 4:00 p.m. on the fourth Monday of November.

Application Submission

Return one copy of this completed application, application fee, and all supporting documents to:

City of Madison, IN
Office of Historic Preservation
101 W. Main St., Madison, IN 47250
Phone: (812) 274 - 0283
Fax: (812) 265 - 3349

Email: preservation@madison-in.gov

A fee is not required for Staff review projects. Please check with staff before writing a check. The application fee (payable by cash or check made out to Madison City Plan Commission) is \$15.00 for projects which require HDBR Review and \$2.00 for each notification sign.

Application Hearing

Complete applications submitted by the deadline will be heard before the Madison Historic District Board of Review at their regular meeting held every fourth Monday of January–November and on the third Monday of December. The meetings are at 5:30 p.m. in the City Hall, 101 W Main St, Madison, IN 47250.



Application for Certificate of Appropriateness (COA)

City of Madison, IN
Historic District Board of Review

Project Information

Address of property for proposed work: 214 W 2nd Street
(Street Number - Street Name)

Type of Project (Check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> New Building | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Addition to Building | <input type="checkbox"/> Relocating a building |
| <input checked="" type="checkbox"/> Rebuilding, Restoration, Rehabilitation, Remodel | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Fence or Wall | <input type="checkbox"/> Other _____ |

Contractor: Brian Martin

***Applicant Mailing Address:**

Name(s): Gina & Chris Lynn

Mailing Address: 214 W 2nd Street
(Street Number - Street Name - City - State - Zip Code)

Phone Number: 678 596 8244 Email Address: lynn-gina@comcast.net

Owner Mailing Address: Same

Name(s): _____

Mailing Address: _____
(Street Number - Street Name - City - State - Zip Code)

Phone Number: _____ Email Address: _____

*Note: If the applicant is not the owner, the legal notice and notification signage will include both the Applicant's name and the Owner's Name. Applicants must have owners permission to do proposed work.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.

Gina Lynn
Signature of Applicant/Owner

10-5-21
Date

Application for Certificate of Appropriateness (COA) Page - 2

City of Madison, IN
Historic District Board of Review

Required Supporting Documents

The following list includes the supporting documents necessary for review of a particular project. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

Repair, Replace, or Repair/Replace:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- ☐ Photographs (current/proposed) with captions
- ☐ Samples/brochures

New Buildings and New Additions:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled.
- ☐ Floor Plan
- ☐ Photographs of proposed site and adjoining properties with captions
- ☐ Samples/brochures

Sign and Fence/Walls:

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ Additional Information Sheet

Moving Buildings:

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

Demolition:

- ☐ Photographs with captions

Project Description

If the proposed scope of work will include more than one type of project please divide the description into sections.

(Example: 1. south side, replace 2 upper wood windows with wood windows; 2. roof, replace metal roof with asphalt shingles)

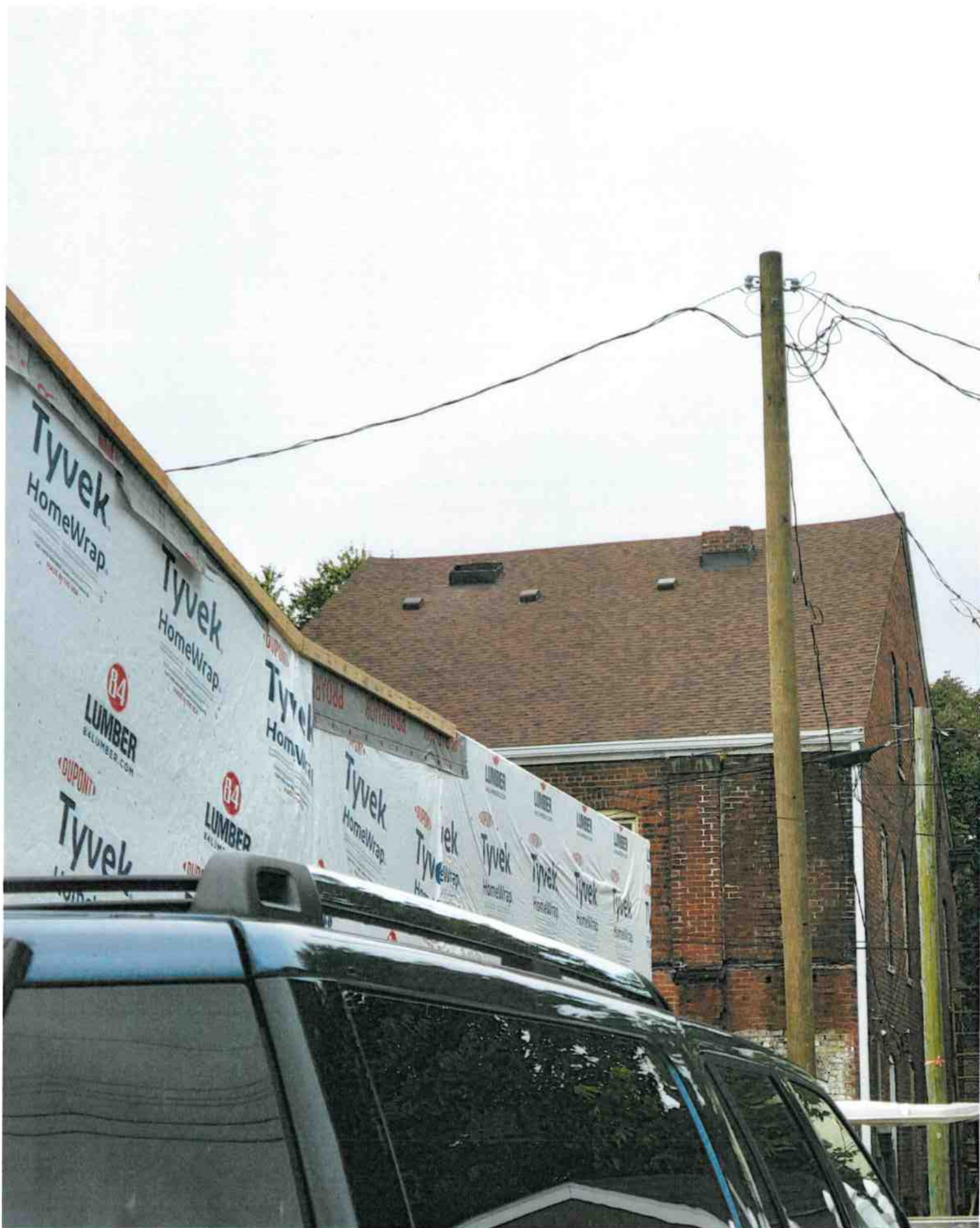
demolish rear chimneys - extreme deterioration

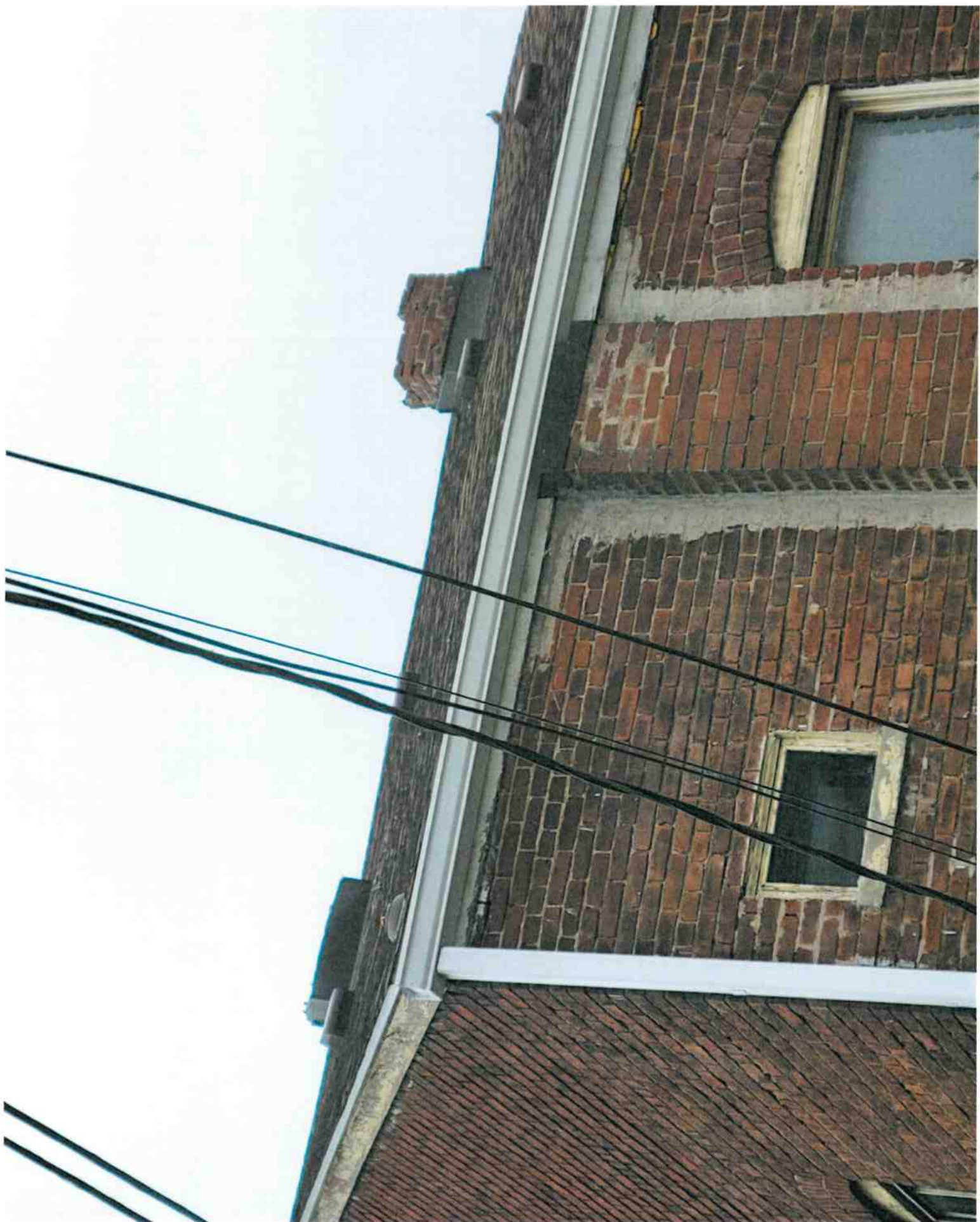
☐ Continued on additional sheet

Application for Certificate of Appropriateness (COA) Page - 3

City of Madison, IN
Historic District Board of Review

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input type="checkbox"/>	Additions	Commercial: 62-63 Residential: 68	HDBR		
<input type="checkbox"/>	Awnings	Commercial: 34-35 Residential: 35	STAFF		
<input type="checkbox"/>	Brickwork/Masonry	Commercial: 36-39 Residential: 36 - 37	HDBR/STAFF		
<input checked="" type="checkbox"/>	Chimneys	Commercial: -- Residential: 38	HDBR/STAFF	brick	N/A
<input type="checkbox"/>	Deck	Commercial: 60 Residential: 64	HDBR/STAFF		
<input type="checkbox"/>	Demolition	Commercial: 71-72 Residential: 80-81	HDBR		
<input type="checkbox"/>	Doors & Entrances	Commercial: 40-42 Residential: 39-42	HDBR/STAFF		
<input type="checkbox"/>	Fences and Walls	Commercial: -- Residential: 73	STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	Commercial: 43 Residential: 43	HDBR/STAFF		
<input type="checkbox"/>	Foundations	Commercial: -- Residential: 44	STAFF		
<input type="checkbox"/>	Garages & Outbuildings	Commercial: -- Residential: 45	HDBR/STAFF		
<input type="checkbox"/>	Gutters & Downspouts	Commercial: 44 Residential: 46	STAFF		
<input type="checkbox"/>	Infill Buildings and New Construction	Commercial: 64-66 Residential: 69-71	HDBR		
<input type="checkbox"/>	Lighting	Commercial: 45 Residential: 47	STAFF		
<input type="checkbox"/>	Pools, Fountains, Gazebos and Pergolas	Commercial: -- Residential: 75	STAFF		
<input type="checkbox"/>	Porch Columns & Railings	Commercial: -- Residential: 51-52	HDBR/STAFF		
<input type="checkbox"/>	Porches	Commercial: -- Residential: 49-50	HDBR/STAFF		
<input type="checkbox"/>	Ramps and Lifts	Commercial: 61 Residential: 65-67	HDBR/STAFF		
<input type="checkbox"/>	Roofs	Commercial: 47 Residential: 53-54	HDBR/STAFF		
<input type="checkbox"/>	Shutters	Commercial: -- Residential: 55	HDBR/STAFF		
<input type="checkbox"/>	Siding	Commercial: -- Residential: 56-58	HDBR/STAFF		
<input type="checkbox"/>	Signs	Commercial: 48-51 Residential: 59	STAFF		
<input type="checkbox"/>	Storefronts	Commercial: 52-55 Residential: --	HDBR/STAFF		
<input type="checkbox"/>	Storm Doors and Storm Windows	Commercial: 40-42, 56-59 Residential: 39 - 42, 60 - 63	STAFF		
<input type="checkbox"/>	Utilities	Commercial: 70 Residential: 78	STAFF		
<input type="checkbox"/>	Windows	Commercial: 56-59 Residential: 60-63	HDBR/STAFF		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		





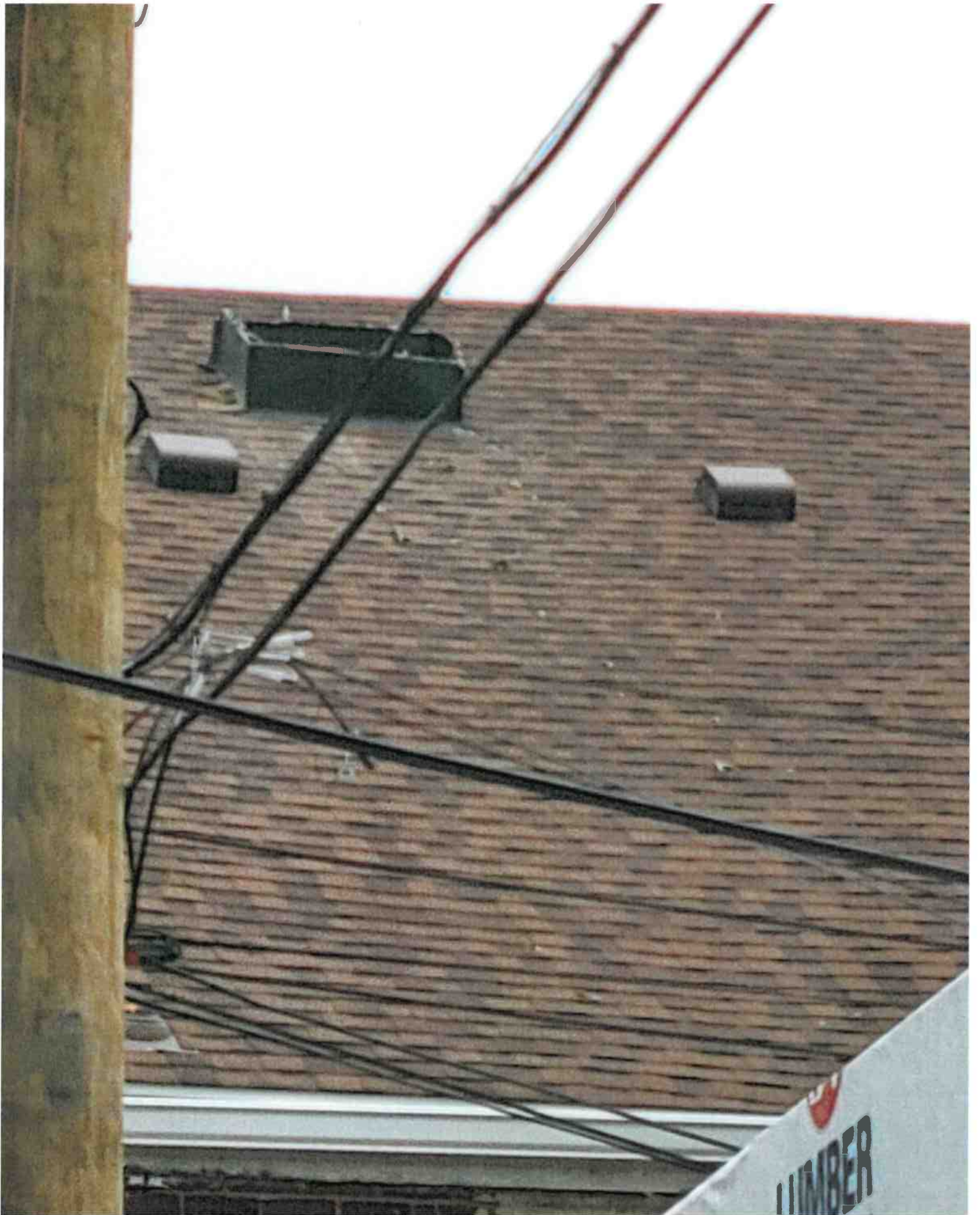






Image capture: Sep 2013 © 2021 Google



Street View - Sep 2013





2015 Flood Map

FLD_ZONE:

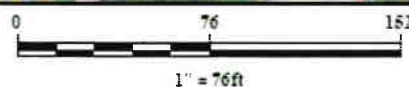
AE

- Regional Counties
- County Boundary
- Townships
- Water
- Parcels
- Corporate Boundaries
- Sewer Structures

Addresses

Common Addresses

- Regional Counties
- Regional Roads
- Regional Highways
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails



Madison National Historic Landmark Inventory

Reconnaissance Survey Form

Location Information

Street Address: 216-14 W. Second Street

Date: c. 1870 Architect:

Historic Name: Duplex

Historic Function: Domestic: Multiple Dwelling

Common Name:

Description

Style: Italianate

Current Function: Domestic: Multiple Dwelling

Style 2:

Additions:

Category: Building Wall Cladding: brick common bond

Openings: upperlight door with upper transom light, two over two windows with dentilled crown. side windows with double brick segmental arch.

Roof: high pitched side gable roof with projecting bracketed and dentilled cornice

Foundation: roughcut, rough coursed Plan: Rectangular Stories: 2.5

Outbuildings: brick 1.5 story large buildings at intersestion of alleys in rear

Objects: n/a

Nat'l Feat-Topo: n/a

Water Features: n/a

Circulation: concrete path to front porch

Street Furniture: n/a

Vegetation: n/a

Spatial Rel: faces Street

Edges-Fences: iron fence on east Views-Vistas: n/a

Resource Count: Contributing: 1 NonContributing: . NR Status: Rating: N

Significance: NHL: C State: Local:

Criterion 1: X Criterion 2: Criterion 3:

Criterion 4: X Criterion 5: Criterion 6:

Areas of Significance: Architecture; Community Planning & Development

Theme: 19th and 20th C. Architecture; Westward Expansion

Notes:

Architectural Description: