



**PROJECT BRIEF** – *Historic District Board of Review*  
*Application for Certificate of Appropriateness at 304 W. Second St. to repair porch and build a new bathroom within the footprint of the porch on the first floor with a ramp.*



|   |                                     |
|---|-------------------------------------|
| Current Zoning: Historic District Residential (HDR) | Project Location: 304 W. Second St. |
| Applicant: Historic Madison, Inc.                   | Owner: same                         |

Preliminary Staff Recommendation: **Approve**

**Conditions:**

1. N/A

Reasoning:

**History, Relevant Information, & Prior Approvals:**

**History:**

The Sullivan House at 304 W. Second Street is one of Madison's earliest homes and an impressive example of a Federal style mansion. Jeremiah Sullivan, Indiana State Legislator and Indiana Supreme Court judge, built this house in 1818 after moving to Madison from Virginia in 1816. The home, operated as a museum by Historic Madison, Inc., has a full basement and much of the interior woodwork is original. Windle, p. 50. Sullivan bought this and adjoining property in 1818. May have lived in earlier house (since demolished) before having this one built. Façade remodeled c. 1850, new front door and 6/6 sash added.

**Relevant Information:**

N/A

**Prior Approvals:**

N/A



**Alterations, Historical Information, & Prior Approvals:**

|              |  |
|--------------|--|
| Date         | c. 1818  |
| Style        | Federal  |
| Evaluation   | Contributing, Individually Eligible                    |
| Survey Notes | The rear extension has an inset side bi-level gallery. |

## Guidelines, Standards, & Ordinances

### HDBR Guidelines Not Met:

*Madison Historic District Design Guidelines – 26.0 New Construction - Additions p. 106-108*

Ordinance Points Not Met: 151.34 Visual Compatibility Factors

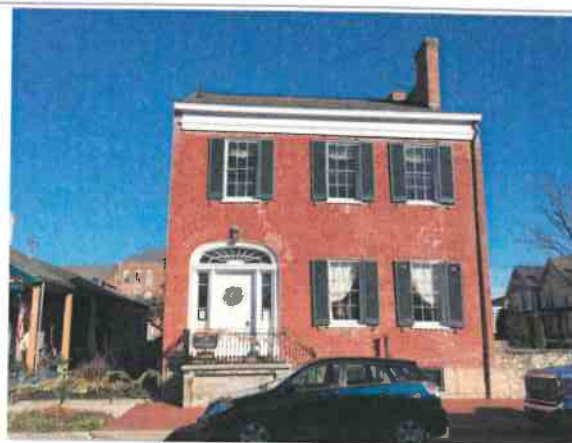
N/A

### Conformance with Guidelines, Ordinance & Standards:

This project is in conformance with the guidelines and ordinance

# HISTORIC RESOURCE INVENTORY FORM

|   |
|---|
| Resource Address:<br><b>304 W 2nd St<br/>Madison Indiana 47250 USA</b>  |
| County: Jefferson   |
| Historic name: Jeremiah Sullivan House                                  |
| Present name:   |
| Local place name:   |
| Visible from public right of way: Yes                                   |
| Ownership: Private  |
| Owner/Address:<br>Historic Madison, Inc.                                |
| Land unit size:   |
| Site/Setting: Rough cut, rough coursed stone fence around yard to east. |



Lat/Long: 38.7356691027848500, -85.3824757506290600 [WGS84]  
 UTM: Zone 16S, 640588.0025 mE, 4288686.0943 mN  
 Parcel No. GIS/Ref/ID: 27079

## Historical Information

|   |  |
|---|--|
| Historic Function: Domestic: Single Dwelling  | Current Function: Recreation and Culture: Museum |
| Construction Date: ca. 1810-1819, circa 1818*   | Architect:                                       |
| Original or Significant Owners:   | Builder:   |
| Significant Date/Period:  | Developer:                                       |
| Areas of Significance: Architecture Community Planning and Development Exploration and Settlement |  |

## Architectural Information

|  |  |  |
|--|--|--|
| Category: building, House                  | Style: Federal   | <input type="checkbox"/> Additions<br><input type="checkbox"/> Alterations<br><input type="checkbox"/> Moved<br><input type="checkbox"/> Other<br>Ancillary structures:<br>1 total |
| Structural: masonry                        | Exterior Material(s): brick                              |  |
| Stories: 2, Bays:                          | Roof Material: asphalt shingles                          |  |
| Form or Plan: 2/3 Double Pile, rectangular | Roof Type: Side Gable                                    |  |
| Foundation: dressed sandstone              | Windows: wood 6/6 double-hung sashes                     |  |
| General condition: Excellent               | Chimney(s): two brick side right and two brick side left |  |
| Basement:                                  | Porch: Stoop   |  |

## Historical Summary:

The Sullivan House at 304 W. Second Street is one of Madison's earliest homes and an impressive example of a Federal style mansion. Jeremiah Sullivan, Indiana State Legislator and Indiana Supreme Court judge, built this house in 1818 after moving to Madison from Virginia in 1816. The home, operated as a museum by Historic Madison, Inc., has a full basement and much of the interior woodwork is original. Windle. p. 50. Sullivan bought this and adjoining property in 1818. May have lived in earlier house (since demolished) before having this one built. Façade remodeled c. 1850, new front door and 6/6 sash added. (LL).

## Status (Current Listing or Designation)

National: ☐ indiv. ☒ district ☐ landmrk.  
 State/Province: ☐ indiv. ☐ district ☐ landmrk.  
 Local: ☐ indiv. ☒ district ☐ landmrk.  
 2006, Madison National Historic Landmark District

1982, Madison Local Historic District

## Evaluation (Preparer's Assessment of Eligibility)

### Recommendation

☒ Individually eligible  
☒ Eligible as contributing resource  
☐ Not eligible / non-contributing  
☐ Not determined

### Level of potential eligibility

☐ National  
☐ State  
☐ Local

### Landmark potential

☐ National  
☐ State  
☐ Local

Eligibility: Applicable NHL Criteria: 1, 4



#### Description/Remarks

This is a 2-story house in the Federal style built in 1818. The structural system is masonry. The foundation is dressed sandstone. Exterior walls are brick. Brick is Flemish and common bond. The building has a side gable roof clad in asphalt shingles. Side gable low pitch roof with parapet double chimney on east end. Slightly projecting eaves with wide band of trim at frieze level, wide band of molding at the front cornice. There are two side right, brick chimneys and two side left, brick chimneys. Windows are wood, 6/6 double-hung sashes. 6/6 windows with shutters and radiating brick voussoirs. 9/6 windows on sides. There is a stoop. The front entry porch has sandstone steps quarried from Portsmouth, Ohio and a delicate iron railing attributed to an early 19th century Cincinnati foundry. Panel door with elliptical fanlight and sidelights, beadwork on surround, brick arch surround. Tapered columns separate the door from the sidelights and fine beadwork surrounds the door and lights. The composite is set into an arched brick surround. The rear extension has an inset side bi-level gallery. The façade of the home is asymmetrical, with the main entry at the western most of three bays. This exterior expresses the interior room configuration, which has an entry hall with stairway running alongside a double parlor. Impressive fanlight entry.

Other sources: HABS IN-9

#### Survey and Recorder

|  |   |   |
|--|---|---|
| Project: Madison, Indiana  | Sequence/Key no.:   | Survey Date: December 2021  |
| Prepared By: Douglas Kaarre, The Lakota Group/Douglas Gilbert Architect  | Report Title/Name: Madison Local Historic District Update   | Previous Surveys: Madison Reconnaissance Survey (2002-2004) ID #27079, HABS IN-9, surveyed Aug 02, 2002, Site Number 3-0370 |
| Inventoried: 09/20/2021 11:43:26 am<br>Last updated: 07/11/2022 9:43:09 pm by Doug Kaarre / 312.467.5445 x 220 | Level of Survey:<br><input checked="" type="checkbox"/> Reconnaissance <input type="checkbox"/> Intensive | Additional Research Recommended?<br><input type="checkbox"/> Yes <input type="checkbox"/> No                                |





## Application for Certificate of Appropriateness

Paper applications will be accepted by the Office of Planning, Preservation, and Design; however, electronic submissions through our Permit Portal are preferred. This application can be submitted electronically at [www.madison-in.gov/reporting](http://www.madison-in.gov/reporting).

|                       |                    |
|-----------------------|--------------------|
| HDBR Staff Review Fee | \$ 10.00           |
| HDBR Application Fee* | \$ 25.00           |
| HDBR Ad Fee*          | \$ 15.00           |
| Sign Fee*             | \$ 2.00 per street |

\* Required for applications being heard before the HDBR.

Purpose: All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required, and the required fee(s).

This application must be filed at least 15 days prior to scheduled meeting to be eligible for consideration at that meeting. Actual deadlines vary due to holidays, office business hours and operating schedule, media publishing deadlines, etc. Deadlines are published publicly and can also be provided by contacting the Planning Office.

### APPLICANT INFORMATION

Name: HISTORIC MADISON, INC  
Street: 301 W 2ND ST  
City: MADISON State: IN Zip: 47250  
Phone (Preferred): 812 265-2967  
Phone (Alternate): \_\_\_\_\_  
Email: HMI@HISTORICMADISONINC.COM

### OWNER INFORMATION (IF DIFFERENT\*)

Name: SAME  
Street: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone (Preferred): \_\_\_\_\_  
Phone (Alternate): \_\_\_\_\_  
Email: \_\_\_\_\_

**\* If Applicant is not Owner, MUST submit documentation from owner authorizing applicant on their behalf.**

### PROPERTY FOR WHICH THE WORK IS REQUESTED

Address and/or Legal Description of Property: 304 W 2ND ST, the JEREMIAH SULLIVAN HOUSE

Zoning Classification: MUSEUM/HISTORIC SITE

Type of Project (Check all that apply)

- |  |   |
|--|---|
| <input type="checkbox"/> New Building          | <input checked="" type="checkbox"/> Restoration, Rehabilitation, or Remodel |
| <input type="checkbox"/> Addition to Building  | <input type="checkbox"/> Fence or Wall                                      |
| <input type="checkbox"/> Relocating a Building | <input type="checkbox"/> Sign   |
| <input type="checkbox"/> Demolition            | <input type="checkbox"/> Other: _____                                       |

Description of Existing Use: HOUSE MUSEUM/HISTORIC SITE

Description of Proposed Use: SAME

Name of Contractor (If applicable): TBD

Per the City of Madison Historic District Ordinance, an application must include the following in addition to the usual material required for a building permit at the time of application. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

**Repair, Replace, or Repair/Replace:**

- ☒ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- ☒ Photographs (current/proposed) with captions
- ☐ Samples/brochures

**New Buildings and New Additions:**

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled.
- ☐ Floor Plan
- ☐ Photographs of proposed site and adjoining properties with captions
- ☐ Samples/brochures

**Sign and Fence/Walls:**

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ COA Addendum

**Moving Buildings:**

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

**Demolition:**

- ☐ Photographs with captions

Provide a detailed Narrative statement describing the proposed scope of work. If the project includes more than one type of project, please divide the description into sections.

RECONSTRUCTION OF 2-STORY EAST SIDE PORCH TO REMEDY STRUCTURAL ISSUES  
AND TO PROVIDE CODE MANDATED ACCESSIBILITY TO 200+ YEAR OLD HISTORIC  
LANDMARK PROPERTY, INCLUDING A RAMP AND AN ACCESSIBLE RESTROOM BUILT  
WITHIN THE FOOTPRINT OF THE FIRST FLOOR OF THE PORCH.

RECONSTRUCTION REQUIRES ALL NEW FRAMING FROM THE FOUNDATION TO THE ROOF.  
ALL ARCHITECTURAL DETAILS, INCLUDING COLUMNS AND RAILINGS AND WILL BE  
EXAMINED FOR REUSE. IN CASES WHERE DUTCHMEN REPAIRS OR EPOXY  
CONSOLIDANTS ARE NOT INDICATED, IN-KIND REPLICAS WILL BE CREATED.  
PORCH FLOORS ARE NOT SALVAGEABLE DUE TO SEVERE WEATHER DAMAGE AND WILL  
BE REPLACED IN-KIND WITH THERMALLY MODIFIED LUMBER MILLED TO MATCH.

SIDING FOR THE NEW RESTROOM EXTERIOR WALLS WILL BE TRADITIONAL 4" +/- WOOD  
SIDING MADE FROM THERMALLY MODIFIED LUMBER.

Include a list of existing and proposed materials for each applicable category. New Construction, Relocation, or Demolition are on the next page.

| Check all that apply                | Building Element                     | Guideline Page # | Approval Types | Existing Material | Proposed Material |
|-------------------------------------|--------------------------------------|------------------|----------------|-------------------|-------------------|
| <input type="checkbox"/>            | Brickwork & Masonry                  | 40               | STAFF          |                   |                   |
| <input type="checkbox"/>            | Concrete & Stucco                    | 42               | STAFF          |                   |                   |
| <input checked="" type="checkbox"/> | Siding                               | 44               | HDBR/STAFF     | NONE              | WOOD              |
| <input type="checkbox"/>            | Metal                                | 49               | STAFF          |                   |                   |
| <input checked="" type="checkbox"/> | Architectural Details                | 52               | HDBR/STAFF     | WOOD              | WOOD              |
| <input type="checkbox"/>            | Awnings & Canopies                   | 54               | STAFF          |                   |                   |
| <input type="checkbox"/>            | Cornices                             | 56               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Chimneys                             | 57               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Doors & Entrances                    | 59               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Fire Escapes & Staircases            | 62               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Foundations                          | 63               | STAFF          |                   |                   |
| <input type="checkbox"/>            | Historic Garages & Outbuildings      | 64               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Light Fixtures                       | 66               | STAFF          |                   |                   |
| <input checked="" type="checkbox"/> | Porches                              | 68               | HDBR/STAFF     | WOOD              | WOOD              |
| <input type="checkbox"/>            | Roofs                                | 71               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Signs                                | 74               | STAFF          |                   |                   |
| <input type="checkbox"/>            | Storefronts                          | 78               | HDBR/STAFF     |                   |                   |
| <input checked="" type="checkbox"/> | Windows                              | 82               | HDBR/STAFF     | NONE              | WOOD              |
| <input type="checkbox"/>            | Window Shutters and Screens          | 87               | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Fences and Walls                     | 88               | STAFF          |                   |                   |
| <input type="checkbox"/>            | Mechanical Units                     | 91               | STAFF          |                   |                   |
| <input type="checkbox"/>            | Pools, Fountains, Gazebos & Pergolas | 93               | STAFF          |                   |                   |

Include a list of existing and proposed materials for each applicable category.

| Check all that apply                | Building Element                   | Guideline Page # | Approval Types | Existing Material | Proposed Material |
|-------------------------------------|------------------------------------|------------------|----------------|-------------------|-------------------|
| <input type="checkbox"/>            | New Construction - Residential     | 94               | HDBR           |                   |                   |
| <input type="checkbox"/>            | New Construction - Outbuildings    | 101              | HDBR           |                   |                   |
| <input type="checkbox"/>            | New Construction - Commercial      | 103              | HDBR           |                   |                   |
| <input type="checkbox"/>            | New Construction - Additions       | 109              | HDBR           |                   |                   |
| <input type="checkbox"/>            | New Construction - Decks           | 109              | HDBR/STAFF     |                   |                   |
| <input checked="" type="checkbox"/> | New Construction - Accessibility   | 110              | HDBR/STAFF     | NONE              | WOOD/CONCRETE     |
| <input type="checkbox"/>            | New Construction - Energy Retrofit | 112              | HDBR/STAFF     |                   |                   |
| <input type="checkbox"/>            | Relocation                         | 115              | HDBR           |                   |                   |
| <input type="checkbox"/>            | Demolition                         | 116              | HDBR           |                   |                   |
| <input type="checkbox"/>            | Other: _____                       |                  | HDBR/STAFF     |                   |                   |

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.
- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

AUGUST 28, 2025

Date

John Staicer  
Signature of Applicant

**COMPLETED BY PLANNING OFFICE**

Application Accepted on: \_\_\_\_\_

Application Accepted by: \_\_\_\_\_

Application to be Reviewed by:

☐ HDBR ☐ STAFF

**Meeting Information: Historic District Board of Review**

**101 W Main St, Madison, IN 47250 – Council Chambers**

**Meeting Date: \_\_\_\_\_ Time: 5:30PM**

Action on Application:

☐ HDBR/STAFF COA issued ☐ HDBR/STAFF COA denied  
☐ HDBR Extended ☐ Sent to HDBR by Staff

**Documentation Review (Completed by Planning Office)**

\_\_\_\_ Owner Authorization provided (if req'd)

\_\_\_\_ Site plan is adequate

\_\_\_\_ Application is complete

\_\_\_\_ Required supporting documents are provided

\_\_\_\_ COA Addendum (if req'd)

\_\_\_\_ Notification Sign given to applicant



# SULLIVAN HOUSE RESTORATION

Madison, Indiana



PACKAGE

## 100% CONSTRUCTION DOCUMENT SET-COMPILED

OWNER  
**HISTORIC MADISON, INC.**  
301 W 2nd Street  
Madison, Indiana 47250  
(912) 265-2967

ARCHITECT  
**RATIO Architects, Inc.**  
101 South Pennsylvania Street  
Indianapolis, Indiana 46204  
(317) 633-4040

MECHANICAL / ELECTRICAL ENGINEER  
**The Engineering Collaborative**  
2410 Executive Drive  
Suite 100  
Indianapolis, Indiana 46241  
(317) 636-3941

CONSTRUCTION MANAGER  
**ARSEE Engineers**  
9715 Kincaid Drive  
Suite 100  
Fishers, Indiana 46037  
(317) 394-5132

### SHEET INDEX

|                     |  |
|---------------------|--|
| GENERAL INFORMATION |  |
| G001                | COVER SHEET                                    |
| G001                | GENERAL NOTES, LOCATION MAP & CODE SUMMARY     |
| LANDSCAPE           |  |
| L-101               | SITE PLANS & DETAILS                           |
| STRUCTURAL          |  |
| R-201               | NORTH & SOUTH ELEVATIONS                       |
| R-202               | EAST ELEVATION                                 |
| R-203               | WEST ELEVATION                                 |
| R-301               | DETAILS  |
| STRUCTURAL NOTES    |  |
| S-000               | PROPOSED FRAMING PLANS                         |
| S-101               | PROPOSED FRAMING DETAILS                       |
| S-501               | PROPOSED FRAMING DETAILS                       |
| ARCHITECTURE        |  |
| A-100               | BASEMENT FLOOR PLANS                           |
| A-101               | FIRST FLOOR PLANS                              |
| A-102               | SECOND FLOOR PLANS                             |
| A-103               | ATTIC FLOOR PLAN & PORCH FRAMING DETAILS       |
| A-201               | EAST ELEVATION                                 |
| A-202               | NORTH & SOUTH ELEVATIONS                       |
| A-203               | WEST ELEVATION                                 |
| A-301               | PORCH SECTIONS & DETAILS                       |
| A-302               | STAIR & RAMP SECTIONS & DETAILS                |
| A-501               | RESTROOM PLAN, WALL & DOOR SCHEDULES & DETAILS |
| PLUMBING            |  |
| P-100               | BASEMENT PLUMBING PLANS                        |
| P-101               | FIRST FLOOR PLUMBING PLANS                     |
| P-102               | SECOND FLOOR PLUMBING PLANS                    |
| P-601               | PLUMBING SCHEDULES & DETAILS                   |
| P-901               | PLUMBING SPECIFICATIONS                        |
| MECHANICAL          |  |
| M-001               | HVAC GENERAL NOTES                             |
| M-100               | BASEMENT FLOOR HVAC PLANS                      |
| M-101               | FIRST FLOOR HVAC PLANS                         |
| M-102               | SECOND FLOOR HVAC PLANS                        |
| M-103               | ATTIC MECHANICAL                               |
| M-601               | HVAC SCHEDULES                                 |
| M-701               | HVAC DETAILS                                   |
| M-901               | HVAC SPECIFICATIONS                            |
| ELECTRICAL          |  |
| E-001               | ELECTRICAL GENERAL NOTES & SYMBOLS             |
| E-100               | BASEMENT ELECTRICAL PLANS                      |
| E-101               | FIRST FLOOR ELECTRICAL PLANS                   |
| E-102               | SECOND FLOOR ELECTRICAL PLANS                  |
| E-103               | ATTIC ELECTRICAL PLAN                          |
| E-401               | ELECTRICAL RECEPTACLE & SCHEDULES              |
| E-701               | ELECTRICAL DETAILS                             |
| E-901               | ELECTRICAL SPECIFICATIONS                      |

VOLUME  
1

RATIO PROJECT NO.  
24057.000

DATE  
06.25.25

PROJECT ADDRESS  
304 W 2nd Street  
Madison, IN 47250

VOLUME  
1

SET NO.

DATE  
06.25.25

100% CD SET - COMPILED

24057.000

SULLIVAN HOUSE RESTORATION

PROJECT NAME



SULLIVAN  
HOUSE  
RESTORATION  
MADISON, IN

Owner  
HISTORIC MADISON, INC.  
107 W. State Street  
Madison, IN 46004  
(812) 555-2967

Architect  
H. O.  
107 W. State Street  
Madison, IN 46004  
(812) 555-2967

Structural Engineer  
ARSEE Engineers  
9715 Woodbine Drive  
Fishers, IN 46037  
(317) 584-5152

Mechanical/Electrical Engineer  
The Engineering Collaborative  
2410 Executive Drive  
Indianapolis, IN 46241  
(317) 636-3941

100% CD SET

|                       |          |
|-----------------------|----------|
| SHEET TITLE           | 06/25/25 |
| REVISION              |          |
| 1. 100% COMPLETED SET | 06/25/25 |

|             |          |
|-------------|----------|
| CHECKED BY  | BR       |
| APPROVED BY | BR       |
| PROJECT NO. | 2657.660 |



RATIO  
SHEET TITLE  
SITE PLAN &  
DETAILS

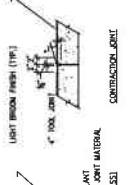
SHEET NUMBER  
L-101

1. 1/2" BROOM FINISH (TYP.) PERPENDICULAR TO  
JOINT & SURFACES

2. 1/2" TYPICAL CONCRETE PAVEMENT JOINTS DETAIL  
FOR JOINT REQUIREMENTS

3. 1/2" COMPACTED BASE  
FOR JOINT REQUIREMENTS

4. 1/2" COMPACTED SUBGRADE



CONCRETE WALK & JOINTS  
1/2" = 1'-0"

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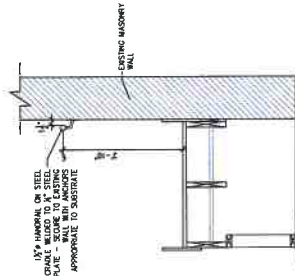
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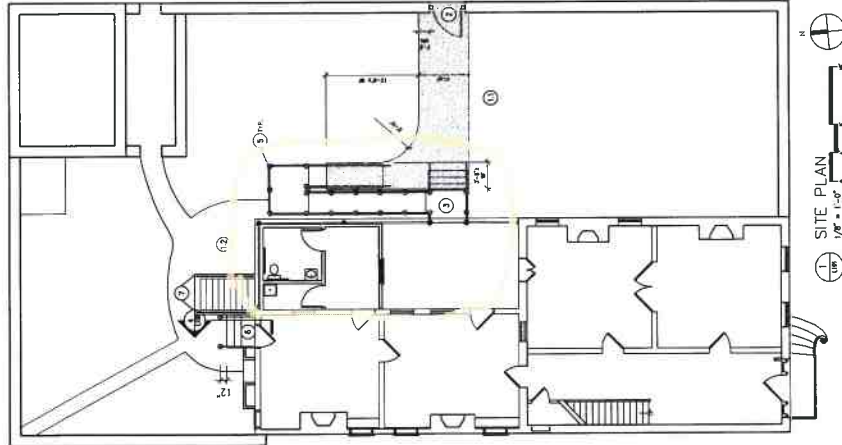
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1/2" = 1'-0"

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1/2" = 1'-0"

CONCRETE WALK & JOINTS  
1/2" = 1'-0"



BASEMENT STAIR SECTION  
3/4" = 1'-0"



PROJECT SITE IS LOCATED IN AREA OF  
MINIMAL FLOOD HAZARD

FEMA MAP  
NOT TO SCALE

NOT TO SCALE

HEET NUMBER  
A-101

**FIRST FLOOR PLAN**

1/4" = 1'-0"

1  
N

not save data









SULLIVAN  
HOUSE  
RESTORATION  
MADISON, IN

Owner  
HISTORIC MADISON, INC.  
101 South Pennsylvania Street  
Madison, IN 47204  
(812) 255-2967

Architect  
Karl A. Sullivan  
101 South Pennsylvania Street  
Indianapolis IN 46204  
(317) 633-4040

Structural Engineer  
ARSEE Engineers  
9715 Rockwell Drive  
Fishers, IN 46037  
(317) 594-5152

Architectural / Electrical Engineer  
The Engineering Collaborative  
2410 Executive Drive  
Suite 100  
Indianapolis, IN 46241  
(317) 635-3641

100% CD SET

|             |                    |
|-------------|--------------------|
| SHEET ISSUE | 06/25/05           |
| REVISION    |                    |
| 1           | 100% COMPLETED SET |
| 2           | REVISED            |

CHECKED BY  
BR

APPROVED BY  
BR

PROJECT NO.  
20257.600



**RATIO**

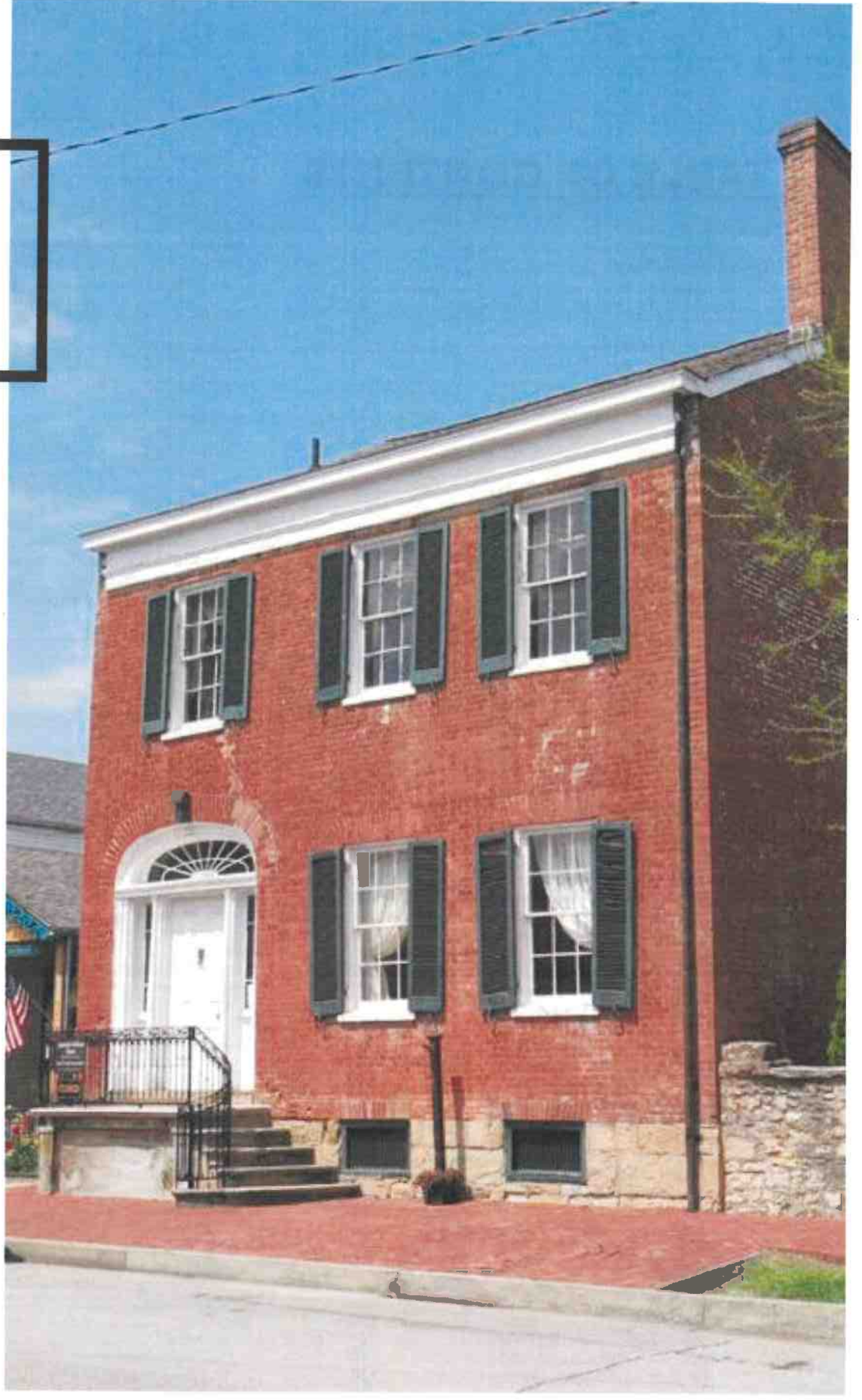
SHEET TITLE  
**RESTROOM PLAN,  
WALL & DOOR  
SCHEDULE & DETAILS**

SHEET NUMBER  
**A-401**

| DOOR SCHEDULE |      |               |      |       |       |      |       |       |         |
|---------------|------|---------------|------|-------|-------|------|-------|-------|---------|
| NO.           | LOC. | TYPE          | FIN. | GLASS | SWING | DOOR | FRAME | NOTES | REMARKS |
| 101           | 108  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 102           | 109  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 103           | 110  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 104           | 111  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 105           | 112  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 106           | 113  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 107           | 114  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 108           | 115  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 109           | 116  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 110           | 117  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 111           | 118  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 112           | 119  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 113           | 120  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 114           | 121  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 115           | 122  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 116           | 123  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 117           | 124  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 118           | 125  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 119           | 126  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 120           | 127  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 121           | 128  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 122           | 129  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 123           | 130  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 124           | 131  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 125           | 132  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 126           | 133  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 127           | 134  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 128           | 135  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 129           | 136  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 130           | 137  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 131           | 138  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 132           | 139  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 133           | 140  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 134           | 141  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 135           | 142  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 136           | 143  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 137           | 144  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 138           | 145  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 139           | 146  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 140           | 147  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 141           | 148  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 142           | 149  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 143           | 150  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 144           | 151  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 145           | 152  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 146           | 153  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 147           | 154  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 148           | 155  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 149           | 156  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 150           | 157  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 151           | 158  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 152           | 159  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 153           | 160  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 154           | 161  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 155           | 162  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 156           | 163  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 157           | 164  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 158           | 165  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 159           | 166  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 160           | 167  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 161           | 168  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 162           | 169  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 163           | 170  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 164           | 171  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 165           | 172  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 166           | 173  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 167           | 174  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 168           | 175  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 169           | 176  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 170           | 177  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 171           | 178  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 172           | 179  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 173           | 180  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 174           | 181  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 175           | 182  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 176           | 183  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 177           | 184  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 178           | 185  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 179           | 186  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 180           | 187  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 181           | 188  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 182           | 189  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 183           | 190  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 184           | 191  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 185           | 192  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 186           | 193  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 187           | 194  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 188           | 195  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 189           | 196  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 190           | 197  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 191           | 198  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 192           | 199  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 193           | 200  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 194           | 201  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 195           | 202  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 196           | 203  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 197           | 204  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 198           | 205  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
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| 201           | 208  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
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| 204           | 211  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 205           | 212  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 206           | 213  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 207           | 214  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 208           | 215  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 209           | 216  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 210           | 217  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 211           | 218  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 212           | 219  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 213           | 220  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 214           | 221  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 215           | 222  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 216           | 223  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 217           | 224  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 218           | 225  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 219           | 226  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 220           | 227  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 221           | 228  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 222           | 229  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 223           | 230  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 224           | 231  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 225           | 232  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 226           | 233  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 227           | 234  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 228           | 235  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 229           | 236  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 230           | 237  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 231           | 238  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 232           | 239  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 233           | 240  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 234           | 241  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 235           | 242  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 236           | 243  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 237           | 244  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 238           | 245  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 239           | 246  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 240           | 247  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 241           | 248  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 242           | 249  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 243           | 250  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 244           | 251  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 245           | 252  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 246           | 253  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |
| 247           | 254  | 6'-0" x 8'-0" | 1    | 1/2"  | R     | 1    | 1     | 1     | 1       |
| 248           | 255  | 6'-0" x 8'-0" | 1    | 1/2"  | L     | 1    | 1     | 1     | 1       |

# RATIO

HISTORIC MADISON INC.      MARCH 2023  
**SULLIVAN HOUSE HISTORIC STRUCTURE REPORT**



# TABLE OF CONTENTS

|  |     |   |     |
|--|-----|---|-----|
| <b>Acknowledgments</b> .....                         | 3   | Occupants .....                                   | 141 |
| Image Credits .....                                  | 4   | Abbreviated Chronology of Occupants .....         | 141 |
| <b>Executive Summary</b> .....                       | 5   | Detailed Chronology of Occupants .....            | 141 |
| Background .....                                     | 5   | ca.1822-1875 Jeremiah Sullivan                    |     |
| Purpose of the Historic Structure Report .....       | 5   | & Charlotte R. Cutler Sullivan Family .....       | 141 |
| Findings .....                                       | 5   | 1875-1881 Charlotte E. Sullivan Sullivan          |     |
| Recommendations .....                                | 5   | & John H. Sullivan Family .....                   | 146 |
| Conclusion .....                                     | 6   | 1881-1920 Mary E. Eaverson Reid                   |     |
| <b>Introduction</b> .....                            | 7   | & Family .....                                    | 146 |
| Methodology .....                                    | 7   | 1921-1926 Laura E. Sauer                          |     |
| Evaluation of Significance .....                     | 8   | & Daughters .....                                 | 150 |
| Areas of Significance .....                          | 8   | 1926-1927 Thomas M. Gavin .....                   | 150 |
| Period of Significance .....                         | 9   | 1927-1960 Louise Keuthan Gibb                     |     |
| Assessment of Integrity .....                        | 10  | & William James Gibb .....                        | 151 |
| <b>1.A Historical Background &amp; Context</b> ..... | 13  | Exterior Historic Views & Photographs .....       | 155 |
| Introduction .....                                   | 13  | <b>1C. Physical Description</b> .....             | 169 |
| The Sullivan Family .....                            | 13  | Site .....  | 169 |
| Jeremiah Sullivan .....                              | 13  | Site Context: Adjacent Properties .....           | 169 |
| Charlotte R. Cutler Sullivan .....                   | 33  | Lot 14: 308-310 W. Second Street .....            | 169 |
| Children of Jeremiah Sullivan                        |     | Lot 15: Mary Clark House, 315 Poplar Street ..... | 169 |
| & Charlotte R. Sullivan .....                        | 36  | Lots 16 & 17: 218-222 W. Second Street .....      | 172 |
| Thomas L. Sullivan .....                             | 36  | Outbuildings .....                                | 174 |
| Margaret Ann Sullivan Burnett .....                  | 47  | Outbuilding (pre-1854) .....                      | 174 |
| Frances E. "Fanny" Sullivan .....                    | 52  | Small Outbuilding .....                           | 177 |
| Algernon Sydney Sullivan .....                       | 53  | Privy / Gibb Shed .....                           | 177 |
| Charlotte Eveline Sullivan .....                     | 61  | Gibb Garage / Windle Smokehouse .....             | 178 |
| Jeremiah Cutler "Jerry" Sullivan .....               | 75  | Plantings & Site Features .....                   | 180 |
| Eliza M. Sullivan Harris .....                       | 84  | Hardscape & Access .....                          | 181 |
| Mary Jane Sullivan Tillinghast .....                 | 91  | Signage .....                                     | 183 |
| Alfred C. Sullivan .....                             | 95  | Fences .....                                      | 184 |
| Ellen M. Sullivan .....                              | 95  | Site Lighting .....                               | 184 |
| Julia Sullivan .....                                 | 96  | Exterior .....                                    | 187 |
| Conclusion .....                                     | 96  | Exterior Masonry .....                            | 187 |
| Architectural Context .....                          | 97  | Cornice .....                                     | 187 |
| Development of Madison .....                         | 97  | Roof & Gutters .....                              | 187 |
| Federal Houses in Indiana .....                      | 99  | Windows .....                                     | 187 |
| Federal Houses in Madison .....                      | 101 | Doors .....                                       | 191 |
| Talbott-Hyatt House .....                            | 101 | Door Types .....                                  | 191 |
| Robinson-Schofield House .....                       | 103 | Front Entrance .....                              | 196 |
| Richard Talbott Inn .....                            | 106 | Porches .....                                     | 199 |
| David Wilson House .....                             | 108 | Front Stoop (ca.1843-1853) .....                  | 199 |
| George W. Leonard House .....                        | 110 | East Porch/Verandah/Gallery .....                 | 201 |
| Sarah Bolton House .....                             | 112 | Exterior Color Schemes .....                      | 202 |
| William McClain House .....                          | 114 | Interior .....                                    | 203 |
| Shadrach Wilber House .....                          | 114 | Overall Building Considerations .....             | 203 |
| Sullivan House in the Context of Madison .....       | 119 | Accessibility .....                               | 203 |
| <b>1.B Chronology of Development &amp; Use</b> ..... | 121 | Structural Systems .....                          | 203 |
| Chronology of Ownership .....                        | 121 | Mechanical, Electrical,                           |     |
| Detailed Chronology of Ownership .....               | 121 | & Plumbing Systems .....                          | 203 |
| Chronology of Construction & Alterations .....       | 126 | Fire Protection and Security Systems .....        | 203 |
| Design .....   | 126 | Hazardous Materials .....                         | 203 |
| Construction (ca.1820-1822) .....                    | 128 | Interior Finishes .....                           | 203 |
| Masonry .....  | 128 | Basement .....                                    | 215 |
| Lumber .....   | 129 | 001 Southwest Basement Room .....                 | 217 |
| Shadrach Wilber, possible builder .....              | 130 | 002 Southeast Basement Room .....                 | 219 |
| Alterations .....                                    | 132 | 003 Northeast Basement Room .....                 | 221 |
| Assessed Value .....                                 | 132 | 004 Middle Basement Room .....                    | 223 |
| Greek Revival Improvements (ca.1846-1853,            |     | 005 Basement Kitchen .....                        | 225 |
| ca.1847-1849) .....                                  | 133 | 006 Porch Cellar .....                            | 229 |
| Remodeling(s) (ca.1875, 1884) .....                  | 134 | First Floor .....                                 | 231 |
| Gibb Rehabilitation (1927-1928) .....                | 137 | 100 Hall .....                                    | 233 |
| Apartments (1930s and 1940s) .....                   | 138 | 101 Front Parlor .....                            | 237 |
| HMI Restoration (1961-1963) .....                    | 139 | 102 Back Parlor .....                             | 241 |
| Later Work .....                                     | 139 | 103 Dining Room .....                             | 247 |
|  |     | 104 Bedroom/Kitchen .....                         | 253 |

|   |            |  |            |
|---|------------|--|------------|
| Second Floor .....                        | 261        | <b>Bibliography.....</b>                         | <b>319</b> |
| 200 Hall.....                             | 263        | <b>Appendices .....</b>                          | <b>325</b> |
| 201 Southwest Room.....                   | 267        | Appendix A: Drawings .....                       | 325        |
| 202 Front Bedroom .....                   | 269        | Appendix B: Structural Assessment.....           | 345        |
| 203 Northeast Bedroom .....               | 275        | Appendix C: MEP Systems Assessment.....          | 443        |
| 204 Middle Bedroom .....                  | 279        | Appendix D: Conceptual Cost Magnitude.....       | 459        |
| 205 North Bedroom .....                   | 285        | Appendix E: Furnishings.....                     | 463        |
| Attic.....                                | 293        | Appendix F: Sullivan Family Houses in            |            |
| 300 Stair Hall.....                       | 295        | Indianapolis .....                               | 475        |
| 301 Attic.....                            | 297        | Appendix G: Assessment Records .....             | 479        |
| 304 Rear Ell Attic.....                   | 303        | Appendix H: Door Survey.....                     | 485        |
| <b>1D. Condition Assessment .....</b>     | <b>305</b> | Appendix I: Historic Paint Finishes Report ..... | 501        |
| Exterior .....                            | 305        |  |            |
| Interior .....                            | 306        |  |            |
| <b>2. Treatment Recommendations .....</b> | <b>307</b> |  |            |
| Historic Preservation Objectives .....    | 307        |  |            |
| Interpretation & Use .....                | 307        |  |            |
| Existing Interpretation & Use.....        | 307        |  |            |
| Recommended Interpretation & Use.....     | 308        |  |            |
| Historic Zones .....                      | 311        |  |            |
| Treatment Approaches .....                | 314        |  |            |
| Overall Treatment Strategies.....         | 315        |  |            |
| Work Recommendations.....                 | 316        |  |            |

## IMAGE CREDITS

All new (2022-2023) photographs were taken by RATIO and its consultants unless noted otherwise. All historic photographs (pre-2022) were provided by HMI unless noted otherwise. HMI also shared 2022 photographs taken by Bill Jones of Wonderland Studios. Link Ludington kindly shared images of the David Wilson House and granted permission to reproduce them here. Thomas Stark and Brook Reindollar kindly provided access to their houses and granted permission to print photographs in this HSR. Images have been used with permission from the following institutions and collections:

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# **EXECUTIVE SUMMARY**

## **BACKGROUND**

The Sullivan House served as the residence of Jeremiah Sullivan from its completion about 1822 until his death in 1870. It remained in the Sullivan family until 1881. The house was rehabilitated in 1927-1928 by Louise Keuthan Gibb and William J. Gibb, who operated it as an antique shop and bed and breakfast. The house was purchased by Historic Madison Inc. (HMI) in 1961 and restored as a historic house museum. The house contains approximately 6,920 square feet (gross) of interior space.

## **PURPOSE OF THE HISTORIC STRUCTURE REPORT**

This Historic Structure Report (HSR) was prepared to outline the history, evolution, and present conditions of the Sullivan House and to serve as a guide for future planning, maintenance, and restoration work. The HSR identifies existing conditions and issues as well as the need for further research and planning to ensure adequate stewardship and interpretation of this significant historic building.

The report includes recommendations for treatments of various spaces, features, materials, and systems based on research and assessment of the existing conditions and considerations of the property's present and future needs. The overarching goal of all future work should be to preserve the property's historic fabric and the character-defining features from its period of significance. The report includes recommended treatments to maintain the integrity of the property, serving as a guide for future preservation, restoration, and rehabilitation work to enhance the site's interpretation and operations. The HSR is designed to serve as a living document, allowing the addition of new information as further investigation and rehabilitation work proceeds over the next five to ten years.

## **FINDINGS**

This property is associated with Jeremiah Sullivan, a significant figure in the history of Indiana, as well as his children, several of whom achieved distinction. As the surviving building most closely identified with the lives of the Sullivan family, the house can provide an accurate, authentic, and engaging experience of their stories and historical context.

The house, as a resource within the Madison Historic District, was listed in the National Register of Historic Places in 1973 and designated a National Historic Landmark in 2006. The house retains a high degree of integrity of location, design, materials, workmanship, association, and setting and a moderate to high degree of integrity of feeling. In most cases, these aspects of integrity would be enhanced by a scholarly restoration of the house.

While it retains a high degree of integrity, the Sullivan House has not seen a comprehensive restoration since the 1960s. Structural deficiencies, antiquated and haphazard systems, and deterioration of building components threaten the integrity of the house and require attention in the near future.

## **RECOMMENDATIONS**

The recommendations contained in this report are intended to support HMI's mission and vision for the Sullivan House. The goal of all future work on the property should be to maintain the historic fabric of

March 17, 2023

Mr. Ben Ross  
Ratio Architects  
101 South Pennsylvania Street  
Indianapolis, Indiana 46204

Re: Judge Jeremiah Sullivan House Condition Assessment

Dear Ben:

## EXECUTIVE SUMMARY

We have completed our assessment of the Judge Jeremiah Sullivan House located at 304 West Second Street in Madison, Indiana. The Federal style home, shown in Photos 1 through 5, was completed circa 1820 for Sullivan, who at that time was a prominent Madison lawyer. Sullivan went on to serve on the Indiana Supreme Court and is often credited as coming up with the name "Indianapolis" for the new state capital. The House is listed as Contributing to the Madison Historic District, which was named to the National Register of Historic Places in 1973 and was named a National Historic Landmark District in 2006. The House is currently operated by Historic Madison, Inc. as a house museum.

The Sullivan House suffered significant damage as remnants of Hurricane Ike ravaged Madison in September of 2008. A large tree on the property was toppled by the storm, damaging the upper levels of masonry and a section of the veranda on the east elevation.

ARSEE Engineers visited the home on multiple occasions to document conditions and to assist in the creation of a Historic Structures Report by the project team. Our assessment of the Sullivan House focused on three main issues:

1. The condition of the exterior masonry.
2. The structural systems of both the home and veranda.
3. Other examples of deterioration or water infiltration noted while on site.

The exterior masonry was generally in good condition for its age with some notable exceptions. Cracking and displacement were evident on the south elevation, with cracks generally tracing between window openings on the first and second floors. A significant crack with obvious displacement was found between the fanlight over the main entrance and the second-floor window above. Other cracking patterns on the south elevation and displacement between the south exterior wall and perpendicular crossing walls on the second floor, visible on the interior, lead us to conclude that supplemental tie-back anchors should be installed to help prevent

- As shown in Photo 86, a significant amount of insect damage was observed in a few areas within the framing in the first floor of the veranda.

## REPAIR RECOMMENDATIONS

Repair recommendations have been developed based on the conditions noted above. Budgetary estimates have been developed with the assistance of local contractors familiar with the recommended scope of repairs. Repairs have generally been prioritized from most to least urgent.

- Install masonry tiebacks to prevent additional displacement on the south elevation.
- Reconstruct the veranda on the east elevation.
- Reconstruct missing or displaced masonry in the basement.
- Repair cracks in brick masonry on all elevations.
- Repoint deteriorated mortar joints on all elevations.
- Monitor areas on the first and second floors for signs of additional displacement.
- Repair deteriorated concrete in the cellar stair walls on the north elevation.
- Repair and replace missing or damaged fascia boards on the west elevation.
- Repair damaged window shutters. Replace shutters that are missing or found to be beyond salvaging.
- Clean soiled brick and limestone masonry.

Repairs should be performed as funding permits. A number of the recommended repairs could likely be successfully undertaken by the site's own maintenance staff. Other repairs could be combined into smaller restoration projects for a potential cost savings over a la carte repairs performed singularly. We anticipate that a construction budget of \$200,000 to \$250,000 would be sufficient to perform the work mentioned above, with the most significant portions of the cost split evenly between the masonry repairs and the reconstruction of the veranda. This does not include design fees, contingencies, or other soft costs.



Photo 02 The east elevation of the Sullivan House faces Poplar Street.





Photo 40 The multilevel veranda on the north end of the kitchen wing.





Photo 43 Displacement was obvious near the columns.



Photo 50 Deterioration was obvious within the column capitals.



Photo 52 Previous repairs to the column bases are also failing.



Photo 58 Deterioration of the floor joists was observed through the removal of some of the floorboards.





**MADISON**  
*Indiana*  
Planning, Preservation and Design

# MADISON HISTORIC DISTRICT BOARD OF REVIEW

## Request for Certificate of Appropriateness

Application has been made by: (name) Historic Madison Inc

Property Address: (address) 304 W Second St

Proposed Action to: (explain) \_\_\_\_\_  
\_\_\_\_\_ repair porch and build a new bathroom within the footprint of the porch on the first floor with a ramp  
\_\_\_\_\_  
\_\_\_\_\_

Meeting will be held on: (date) September 22, 2025

**POSTING DEADLINE**

Place of Meeting: City Hall — 101 W. Main Street, Madison, IN 47250

09-07-2025

Time of Meeting: 5:30 PM

All interested persons are welcome to attend this hearing to voice their objections or support for the application.

For further information, Contact the Office of Planning, Preservation, & Design at (812) 265-8324.