



PROJECT BRIEF – *Historic District Board of Review
Application for Certificate of Appropriateness at 917 W.
Second St. to change the size of the window openings on
rear to accommodate new windows.*



Current Zoning: Historic District Residential (HDR)	Project Location: 917 W. Second St.
Applicant: Marci Jones	Owner: same

Preliminary Staff Recommendation: **Approve**

Conditions:

1. N/A

Reasoning:

History, Relevant Information, & Prior Approvals:

History:

N/A

Relevant Information:

Where the windows will be enlarged had previously been an open air second-story deck. None of the windows on this part of the structure are original.

Prior Approvals:

N/A

Alterations, Historical Information, & Prior Approvals:

Date	c. 1850
Style	Federal
Evaluation	Contributing
Survey Notes	



Guidelines, Standards, & Ordinances

HDBR Guidelines Not Met:

Madison Historic District Design Guidelines – 18.0 Windows p. 82-86

Ordinance Points Not Met: 151.34 Visual Compatibility Factors

N/A

Conformance with Guidelines, Ordinance & Standards:

This project is in conformance with the guidelines and ordinance

HISTORIC RESOURCE INVENTORY FORM

Resource Address: 917 W 2nd St Madison Indiana 47250 USA
County: Jefferson
Historic name:
Present name:
Local place name:
Visible from public right of way: Yes
Ownership:
Owner/Address:
Land unit size:
Site/Setting: On a hill with alley to the east. There is a privacy fence at the rear. The side walls of this house and 919 next door touch but these are separate houses.



Lat/Long: 38.7372146976731500, -85.3917774177909800 [WGS84]

UTM: Zone 16S, 639776.4829 mE, 4288843.3727 mN

Parcel No. GIS/Ref/ID: 31102

Historical Information

Historic Function: Domestic: Single Dwelling	Current Function: Domestic: Single Dwelling
Construction Date: ca. 1850-1859 , circa 1850*	Architect:
Original or Significant Owners:	Builder:
Significant Date/Period:	Developer:
Areas of Significance: Architecture Community Planning and Development	

Architectural Information

Category: building, House	Style: Federal	<input type="checkbox"/> Additions <input type="checkbox"/> Alterations <input type="checkbox"/> Moved <input type="checkbox"/> Other Ancillary structures:
Structural:	Exterior Material(s): brick (common bond)	
Stories: 2, Bays:	Roof Material: asphalt shingles	
Form or Plan: , irregular	Roof Type: Gabled , Decorative cornice , Dentils	
Foundation: not visible	Windows: original wood 6/6 double-hung sashes	
General condition: Excellent	Chimney(s): one brick side right straddle ridge	
Basement:	Porch:	

Historical Summary:

Is a separate house from 919 W 2nd Street.

Status (Current Listing or Designation)

National: ☐ indiv. ☒ district ☐ landmrk.

State/Province: ☐ indiv. ☐ district ☐ landmrk.

Local: ☐ indiv. ☒ district ☐ landmrk.

2006, Madison National Historic Landmark District

1982, Madison Local Historic District

Evaluation (Preparer's Assessment of Eligibility)

Recommendation

- ☐ Individually eligible
☒ Eligible as contributing resource
☐ Not eligible / non-contributing
☐ Not determined

Eligibility: Applicable NHL Criteria: 1, 4

Level of potential eligibility

- ☐ National
☐ State
☐ Local

Landmark potential

- ☐ National
☐ State
☐ Local

Description/Remarks

This is a 2-story house in the Federal style built in 1850. The foundation is not visible. Exterior walls are brick (common bond). The building has a gabled roof clad in asphalt shingles with decorative cornice and dentils. Gabled w/ brick dentils, narrow frieze. There is one side right, straddle ridge, brick chimney. Windows are original wood, 6/6 double-hung sashes. Windows are 6/6 with triangular stone lintels, and rectangular stone sills, and shutters. Replacement door.

Survey and Recorder

Project: Madison, Indiana	Sequence/Key no.:	Survey Date: December 2021
Prepared By: Peggy Veregin, The Lakota Group/Douglas Gilbert Architect	Report Title/Name: Madison Local Historic District Update	Previous Surveys: Madison Reconnaissance Survey (2002-2004) ID #31102, surveyed Jul 23, 2002, Site Number 2-399
Inventoried: 09/20/2021 11:43:05 am Last updated: 07/11/2022 10:22:08 pm by Doug Kaarre / 312.467.5445 x 220	Level of Survey: <input checked="" type="checkbox"/> Reconnaissance <input type="checkbox"/> Intensive	Additional Research Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No



MADISON

Indiana
Planning, Preservation and Design

101 W Main St
Madison, IN 47250
(812) 265-8324

Application for Certificate of Appropriateness

Paper applications will be accepted by the Office of Planning, Preservation, and Design; however, electronic submissions through our Permit Portal are preferred. This application can be submitted electronically at www.madison-in.gov/reporting.

HDBR Staff Review Fee	\$ 10.00
HDBR Application Fee*	\$ 25.00
HDBR Ad Fee*	\$ 15.00
Sign Fee*	\$ 2.00 per street

* Required for applications being heard before the HDBR.

Purpose: All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required, and the required fee(s).

This application must be filed at least 15 days prior to scheduled meeting to be eligible for consideration at that meeting. Actual deadlines vary due to holidays, office business hours and operating schedule, media publishing deadlines, etc. Deadlines are published publicly and can also be provided by contacting the Planning Office.

APPLICANT INFORMATION

Name: Burke and Marci Jones
Street: 917 Ward St
City: Madison State: IN Zip: 47250
Phone (Preferred): 812-599-3065
Phone (Alternate): 812-599-0250
Email: majones@hotmail.com

OWNER INFORMATION (IF DIFFERENT*)

Name: _____
Street: _____
City: _____ State: _____ Zip: _____
Phone (Preferred): _____
Phone (Alternate): _____
Email: _____

* If Applicant is not Owner, MUST submit documentation from owner authorizing applicant on their behalf.

PROPERTY FOR WHICH THE WORK IS REQUESTED

Address and/or Legal Description of Property: 917 Ward St
Zoning Classification: Res.

Type of Project (Check all that apply)

- | | |
|--|---|
| <input type="checkbox"/> New Building | <input checked="" type="checkbox"/> Restoration, Rehabilitation, or Remodel |
| <input type="checkbox"/> Addition to Building | <input type="checkbox"/> Fence or Wall |
| <input type="checkbox"/> Relocating a Building | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Other: _____ |

Description of Existing Use: Enclosed upstairs porch

Description of Proposed Use: Update with appropriate beveled lap siding thermally modified wood and double hung 6/6 windows

Name of Contractor (If applicable): John Romero and John Marsh

Per the City of Madison Historic District Ordinance, an application must include the following in addition to the usual material required for a building permit at the time of application. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

Repair, Replace, or Repair/Replace:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- ☒ Photographs (current/proposed) with captions
- ☒ Samples/brochures

New Buildings and New Additions:

- ☐ Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- ☐ Site Plan MUST have all four (4) setbacks labeled.
- ☐ Floor Plan
- ☐ Photographs of proposed site and adjoining properties with captions
- ☐ Samples/brochures

Sign and Fence/Walls:

- ☐ Photograph of Existing with captions
- ☐ Sketches/Photo of proposed
- ☐ Samples/brochures
- ☐ COA Addendum

Moving Buildings:

- ☐ Map showing existing location
- ☐ Map showing proposed location
- ☐ Photographs of structure with captions

Demolition:

- ☐ Photographs with captions

Provide a detailed Narrative statement describing the proposed scope of work. If the project includes more than one type of project, please divide the description into sections.

We plan to replace existing windows & siding on a upstairs enclosed porch. Windows will be vinyl clad aluminum clad 6/6 double hung windows w/ interior and exterior permanent grills. Siding will be thermally modified beveled lap wood 6" Siding w/ 4 1/2 in. reveal.

Column on the porch will be replaced with a similarly designed wood column and the addition of two half (dolph) columns on either end of the porch.

Include a list of existing and proposed materials for each applicable category. New Construction, Relocation, or Demolition are on the next page.

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input type="checkbox"/>	Brickwork & Masonry	40	STAFF		
<input type="checkbox"/>	Concrete & Stucco	42	STAFF		
<input type="checkbox"/>	Siding	44	HDBR/STAFF	Reverse Board and Batten Plywood	thermally modified lap wood siding bevel
<input type="checkbox"/>	Metal	49	STAFF		
<input type="checkbox"/>	Architectural Details	52	HDBR/STAFF	tapered wood column	tapered wood column w/ 2 half columns on either end of porch
<input type="checkbox"/>	Awnings & Canopies	54	STAFF		
<input type="checkbox"/>	Cornices	56	HDBR/STAFF		
<input type="checkbox"/>	Chimneys	57	HDBR/STAFF		
<input type="checkbox"/>	Doors & Entrances	59	HDBR/STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	62	HDBR/STAFF		
<input type="checkbox"/>	Foundations	63	STAFF		
<input type="checkbox"/>	Historic Garages & Outbuildings	64	HDBR/STAFF		
<input type="checkbox"/>	Light Fixtures	66	STAFF		
<input type="checkbox"/>	Porches	68	HDBR/STAFF		
<input type="checkbox"/>	Roofs	71	HDBR/STAFF		
<input type="checkbox"/>	Signs	74	STAFF		
<input type="checkbox"/>	Storefronts	78	HDBR/STAFF		
<input type="checkbox"/>	Windows	82	HDBR/STAFF	wood vinyl clad casement windows	vinyl or aluminum clad w/ 6/6 double hung windows w/ permanent int & ext grills
<input type="checkbox"/>	Window Shutters and Screens	87	HDBR/STAFF		
<input type="checkbox"/>	Fences and Walls	88	STAFF		
<input type="checkbox"/>	Mechanical Units	91	STAFF		
<input type="checkbox"/>	Pools, Fountains, Gazebos & Pergolas (existing)	93	STAFF		

Include a list of existing and proposed materials for each applicable category.

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input type="checkbox"/>	New Construction - Residential	94	HDBR		
<input type="checkbox"/>	New Construction – Outbuildings	101	HDBR		
<input type="checkbox"/>	New Construction – Commercial	103	HDBR		
<input type="checkbox"/>	New Construction – Additions	109	HDBR		
<input type="checkbox"/>	New Construction – Decks	109	HDBR/STAFF		
<input type="checkbox"/>	New Construction –Accessibility	110	HDBR/STAFF		
<input type="checkbox"/>	New Construction –Energy Retrofit	112	HDBR/STAFF		
<input type="checkbox"/>	Relocation	115	HDBR		
<input type="checkbox"/>	Demolition	116	HDBR		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications.
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda.
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.
- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

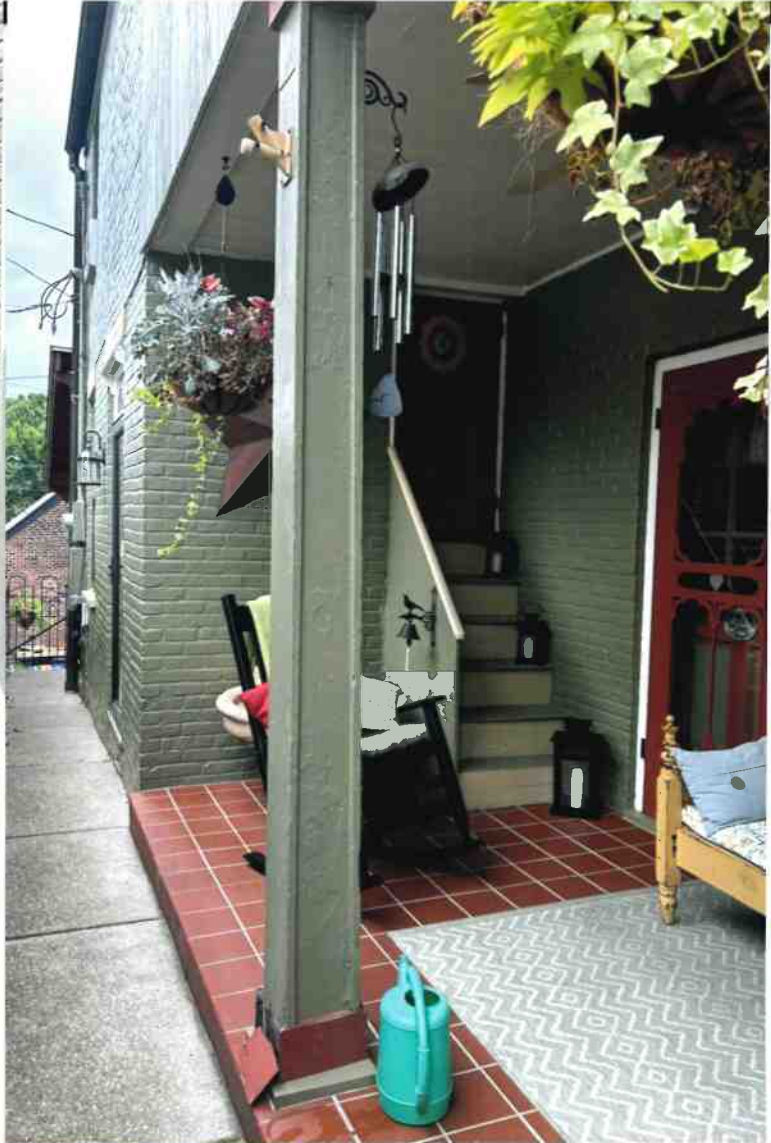
2/22/25
Date

[Signature]
Signature of Applicant

COMPLETED BY PLANNING OFFICE Application Accepted on: _____ Application Accepted by: _____ Application to be Reviewed by: <input type="checkbox"/> HDBR <input type="checkbox"/> STAFF	Meeting Information: Historic District Board of Review 101 W Main St, Madison, IN 47250 – Council Chambers Meeting Date: _____ Time: 5:30PM Action on Application: <input type="checkbox"/> HDBR/STAFF COA issued <input type="checkbox"/> HDBR/STAFF COA denied <input type="checkbox"/> HDBR Extended <input type="checkbox"/> Sent to HDBR by Staff
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Documentation Review (Completed by Planning Office)

- | | |
|--|---|
| ____ Owner Authorization provided (if req'd) | ____ Required supporting documents are provided |
| ____ Site plan is adequate | ____ COA Addendum (if req'd) |
| ____ Application is complete | ____ Notification Sign given to applicant |

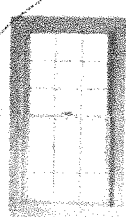
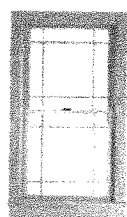
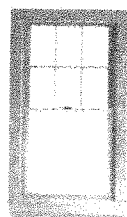
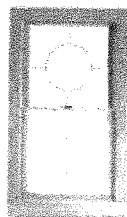
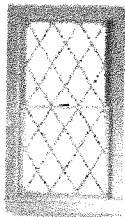
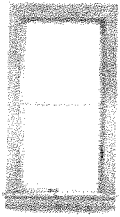


Grille Bender

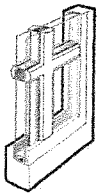
GRILLE OPTIONS

A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.

Fixed
Grille both
sides

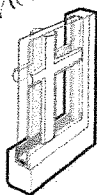


w/screen



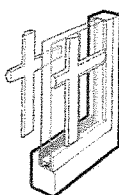
Permanent exterior
Permanent interior
with spacer

Price?

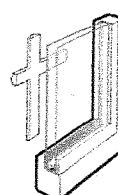


Permanent
exterior
Permanent
interior

Price?



Permanent
exterior
Removable
interior



Removable
interior



Finelight™
Grilles-
Between-
the-Glass

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

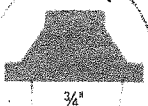
SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured $\frac{3}{4}$ " or 1" profile.

Grille Bar Widths



$\frac{3}{4}$ "



$\frac{7}{8}$ "



1 $\frac{1}{8}$ "



2 $\frac{1}{4}$ "

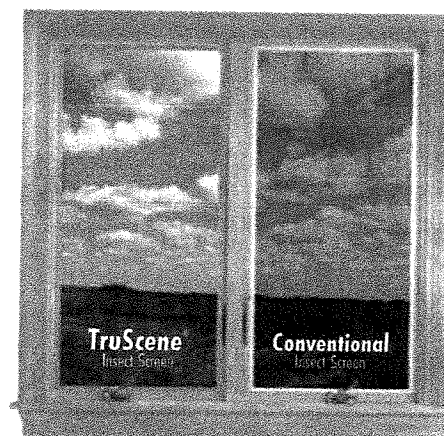
Our 2 $\frac{1}{4}$ " wide grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.

INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens let in over 25% more fresh air and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



* $\frac{7}{8}$ ", 1 $\frac{1}{8}$ " and 2 $\frac{1}{4}$ " not available in Finelight grilles-between-the-glass.

post

6" lap siding wood
thermally modified
beveled lap siding
4 1/2 reveal

400 SERIES TILT-WASH FULL-FRAME WINDOWS



Table of Sizes for Tilt-Wash Double-Hung Windows

Scale 1/8" (3) = 1'-0" (305) — 1:96

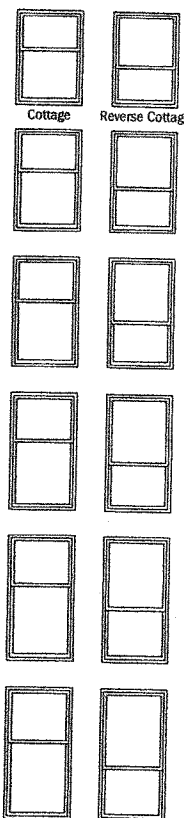
Window Dimension	1'-9 5/8" (549)	2'-1 5/8" (651)	2'-5 5/8" (752)	2'-7 5/8" (803)	2'-9 5/8" (854)	2'-11 5/8" (905)	3'-1 5/8" (956)	3'-5 5/8" (1057)	3'-9 5/8" (1159)
Minimum Rough Opening	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
Unobstructed Glass (lower sash only)	15" (381)	19" (483)	23" (584)	25" (635)	27" (686)	29" (737)	31" (787)	35" (889)	39" (991)

CUSTOM WIDTHS — 21 5/8" to 45 5/8"

CUSTOM HEIGHTS — 36 7/8" to 92 7/8"	1'-9 5/8" (549)	2'-1 5/8" (651)	2'-5 5/8" (752)	2'-7 5/8" (803)	2'-9 5/8" (854)	2'-11 5/8" (905)	3'-1 5/8" (956)	3'-5 5/8" (1057)	3'-9 5/8" (1159)
3'-0 7/8" (937)	TW18210	TW20210	TW24210	TW26210	TW28210	TW210210	TW30210	TW34210	TW38210
3'-4 7/8" (1038)	TW1832	TW2032	TW2432	TW2632	TW2832	TW21032	TW3032	TW3432	TW3832
3'-8 7/8" (1140)	TW1836	TW2036	TW2436	TW2636	TW2836	TW21036	TW3036	TW3436	TW3836
4'-0 7/8" (1241)	TW18310	TW20310	TW24310	TW26310	TW28310	TW210310	TW30310	TW34310	TW38310
4'-4 7/8" (1343)	TW1842	TW2042	TW2442	TW2642	TW2842	TW21042	TW3042	TW3442	TW3842
4'-8 7/8" (1445)	TW1846	TW2046	TW2446	TW2646	TW2846	TW21046	TW3046	TW3446	TW3846
5'-0 7/8" (1546)	TW18410	TW20410	TW24410	TW26410	TW28410	TW210410	TW30410	TW34410	TW38410
5'-4 7/8" (1648)	TW1852	TW2052	TW2452	TW2652	TW2852	TW21052	TW3052	TW3452	TW3852
5'-8 7/8" (1749)	TW1856	TW2056	TW2456	TW2656	TW2856	TW21056	TW3056	TW3456	TW3856
6'-0 7/8" (1851)	TW18510	TW20510	TW24510	TW26510	TW28510	TW210510	TW30510	TW34510	TW38510
6'-4 7/8" (1953)	TW1862	TW2062	TW2462	TW2662	TW2862	TW21062	TW3062	TW3462	TW3862

Custom-size windows are available in 1/8" (3) increments.

Cottage or reverse cottage sash is available for the standard window heights shown below in standard widths.



Size tables for windows with cottage or reverse cottage sash are available at andersenwindows.com/sizing.

- Window Dimension always refers to outside frame-to-frame dimension.
- Minimum Rough Opening dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
- Dimensions in parentheses are in millimeters.
- Meets or exceeds clear opening area of 5.7 sq. ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610). See tables on pages 86-87.

Clad w/wood inside painted



MADISON
Indiana
Planning, Preservation and Design

MADISON HISTORIC DISTRICT BOARD OF REVIEW

Request for Certificate of Appropriateness

Application has been made by: (name) Marci Jones

Property Address: (address) 917 W. Second St.

Proposed Action to: (explain) _____
change the size of the window openings on rear to accommodate new windows

Meeting will be held on: (date) September 22, 2025

POSTING DEADLINE

Place of Meeting: City Hall — 101 W. Main Street, Madison, IN 47250

09-07-2025

Time of Meeting: 5:30 PM

All interested persons are welcome to attend this hearing to voice their objections or support for the application.

For further information, Contact the Office of Planning, Preservation, & Design at (812) 265-8324.