

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 770 W. Third St. to build 18'x20' accessory building to same specifications as was there prior to fire.

Application Date: March 6, 2023  
HDBR Meeting Date: March 27, 2023



Project Description:  
Certificate of Appropriateness application to build 18'x20' accessory building to same specifications as was there prior to fire.

Current Zoning: Residential Medium Density (R-8)      Project Location: 1218 W. Main St.

Applicant: Angelo Zullo      Owner: Same  
1218 W. Main St.  
Madison, IN 47250

- Supporting Documents:
- COA application
  - Photo of property
  - Drawing of proposed structure
  - Photos of the previous structure
  - Site plan
  - Copy of HDBR meeting public sign
  - GIS map

Alterations, Historical Information, & Prior Approvals:

Date	c. 1920
Style	Tudor Revival
Evaluation	Contributing
Survey Notes	

Alterations:  
N/A

Historical Information/Misc. Important Information:

N/A

Prior COA Approvals:

N/A

<b>Guidelines, Standards, &amp; Ordinances</b>
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HDBR Guidelines:

*Madison Historic District Design Guidelines* – 24.0 New Construction – Outbuildings p. 101-108

**24.3 If reconstruction of a missing garage or outbuilding is desired, it should be based on accurate evidence of the original configuration, form, massing, style, placement, and detail from photographic evidence or other documentation of the original building.**

Conformance with Guidelines, Ordinance & Standards:

The project *is in* conformance with Guideline 24.3 because the proposed outbuilding will be constructed to the exact specifications as the previous building; *is in* conformance with ordinance §151.34 because the proposed addition, replacement window project that will alter sizes (not including bay window replacement), and roof modification is not visually compatible with the historic accessory building; *is in* conformance with the ordinance §151.34 because the reconstruction will be visually compatible; *is in* conformance with SIS Reconstruction because the proposed new outbuilding will replicate the original building.

Ordinance:

*§151.34 Visual Compatibility Factors*

Within the primary area, new construction and existing buildings and structures and appurtenances thereof which are moved, reconstructed, materially altered, or repaired shall be visually compatible with buildings, squares, and places to which they are visually related generally in terms of the following factors:

- (A) Height. The height of proposed buildings shall be visually compatible with adjacent buildings.
- (B) Proportion of building's front facade. The relationship of the width of building to the height of the front elevation shall be visually compatible to buildings, squares, and places to which it is visually related.
- (C) Proportion of openings within the facility. The relationship of the width of the windows to height of windows in a building shall be visually compatible with buildings, squares, and places to which the building is visually related.
- (D) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, squares, and places to which it is visually related.
- (E) Rhythm of spacing of buildings on streets. The relationship of the building to open space between it and adjoining buildings shall be visually compatible to the buildings, squares, and places to which it is visually related.
- (F) Rhythm of entrance or porch projection. The relationship of entrances and porch projections to sidewalks of buildings, squares, and places shall be visually compatible to the buildings to which it is visually related.

(G) Relationship of materials, and texture. The relationship of materials, and texture of the facade of a building shall be visually compatible with the predominant materials used in the buildings to which it is visually related.

(H) Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

(I) Walls of continuity. Appurtenances of a building such as walls, wrought iron, fences, evergreen landscape masses, and building facades, shall, if necessary, form cohesive walls of enclosure along a street, to insure visual compatibility of the building to the buildings, squares, and places to which it is visually related.

(J) Scale of a building. The size of a building, the building mass of a building in relation to open spaces, the windows, door openings, porches, and balconies shall be visually compatible with the buildings, squares, and places to which it is visually related.

#### Secretary of the Interior Standards:

##### *Rehabilitation*

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture and such reconstruction is essential to the public understanding of the property.

#### Preservation Brief:

N/A

Think GIS Map





## HDCA-23-43

### Certificate of Appropriateness (COA) Application

**Status:** Active

**Date Created:** Apr 5, 2023

#### Applicant

Angelo Zullo  
pops321@hotmail.com  
1218 W. Main St.  
Madison, IN 47250  
812-274-4334

#### Primary Location

1218 W MAIN ST  
MADISON, IN 47250

#### Owner:

Zullo Angelo and Mirta  
1218 MAIN ST MADISON, IN 47250

#### Internal Review

##### Notification Sign

2

##### Send for HDBR review



##### Approval/Denial Date

04/24/2023

#### General Information

##### Are you the owner?

Yes

##### Zoning Classification

R-8

##### Will you be working with a Contractor?

No

##### Description of Existing Use

Residential

##### Description of Proposed Use

Residential

## Type of Project

**Select which applies to your project.**

New Building

## Description(s) of Work

### Scope of Work

build 18'x20' accessory building to same specifications as was there prior to fire

## Building Elements

### Historic Garages & Outbuildings



### Existing Material

none

### Proposed Material

wood

### New Construction/Addition



## Building Information

### Please List All Building Materials

wood, metal roof

## Acknowledgement

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

### Digital Signature


Angelo Zullo

04/05/2023

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.

- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

## **Attachments**

 1218 W. Main St. Accessory Building.tif  
Uploaded by Brooke Peach on Apr 5, 2023 at 8:32 am

# HISTORIC RESOURCE INVENTORY FORM

Resource Address: <b>1218 W Main St Madison Indiana 47250 USA</b>
County: Jefferson
Historic name:
Present name:
Local place name:
Visible from public right of way: Yes
Ownership:
Owner/Address:
Land unit size:
Site/Setting: The house is located on a large parcel with a broad lawn at the front and rear. There is a linear driveway to the left side, extending to the back garage.



Lat/Long: 38.7407122000000000, -85.4028702000000000 [WGS84]

UTM: Zone 16S, 638805.5416 mE, 4289214.6292 mN

Parcel No.

## Historical Information

Historic Function: Domestic: Single Dwelling	Current Function: Domestic: Single Dwelling
Construction Date: ca. 1920-1929 , circa 1920*	Architect:
Original or Significant Owners:	Builder:
Significant Date/Period:	Developer:
Areas of Significance: Architecture	

## Architectural Information

Category: building, House	Style: Tudor Revival	<input type="checkbox"/> Additions <input type="checkbox"/> Alterations <input type="checkbox"/> Moved <input type="checkbox"/> Other Ancillary structures: 2 total including garage
Structural:	Exterior Material(s): brick	
Stories: 1.5, Bays:	Roof Material: standing seam metal	
Form or Plan: , rectangular	Roof Type: Cross gable	
Foundation: brick	Windows: wood 1 double-hung sashes	
General condition: Excellent	Chimney(s): one brick Front exterior	
Basement:	Porch:	

## Historical Summary:

### Status (Current Listing or Designation)

National: ☐ indiv. ☒ district ☐ landmrk.  
State/Province: ☐ indiv. ☐ district ☐ landmrk.  
Local: ☐ indiv. ☒ district ☐ landmrk.  
2006, Madison National Historic Landmark District  
  
1982, Madison Local Historic District

### Evaluation (Preparer's Assessment of Eligibility)

**Recommendation**  
☐ Individually eligible  
☒ Eligible as contributing resource  
☐ Not eligible / non-contributing  
☐ Not determined  
  
**Level of potential eligibility**  
☐ National  
☐ State  
☐ Local  
  
**Eligibility:** Applicable NHL Criteria: 4

**Landmark potential**  
☐ National  
☐ State  
☐ Local



### Description/Remarks

This is a 1.5-story house in the Tudor Revival style built in 1920. The foundation is brick. Exterior walls are brick. The building has a cross gable roof clad in standing seam metal. There is one front, exterior, brick chimney. Windows are wood, 1-light double-hung sashes. Most windows are paired within a single opening with a rectangular lintel, and shutters. Arched brick opening with the door slightly recessed. The door is of wood with vertical panels, an arched top, and an arched window in the upper half of the door.

### Survey and Recorder

Project: Search for '1218 w main' in Madison, Indiana (1 results)	Sequence/Key no.:	Survey Date: February 2022
Prepared By: Peggy Veregin, The Lakota Group/Douglas Gilbert Architect	Report Title/Name: Madison Local Historic District Update	Previous Surveys: Madison Reconnaissance Survey (2002-2004), surveyed Jun 20, 2002, Site Number 1-007
Inventoried: 09/20/2021 11:42:50 am Last updated: 06/23/2022 10:37:33 am by /	Level of Survey: <input checked="" type="checkbox"/> Reconnaissance <input type="checkbox"/> Intensive	Additional Research Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No





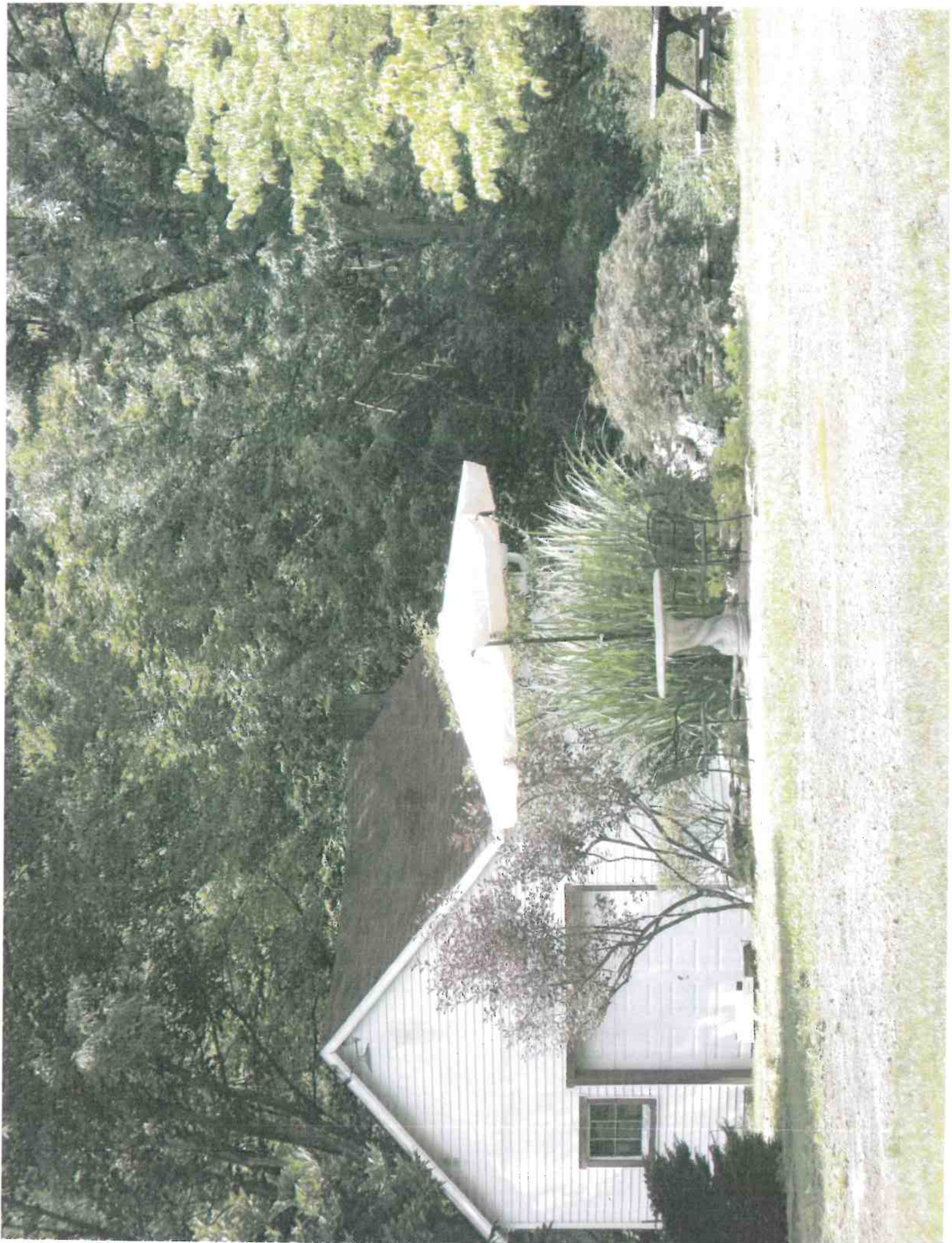




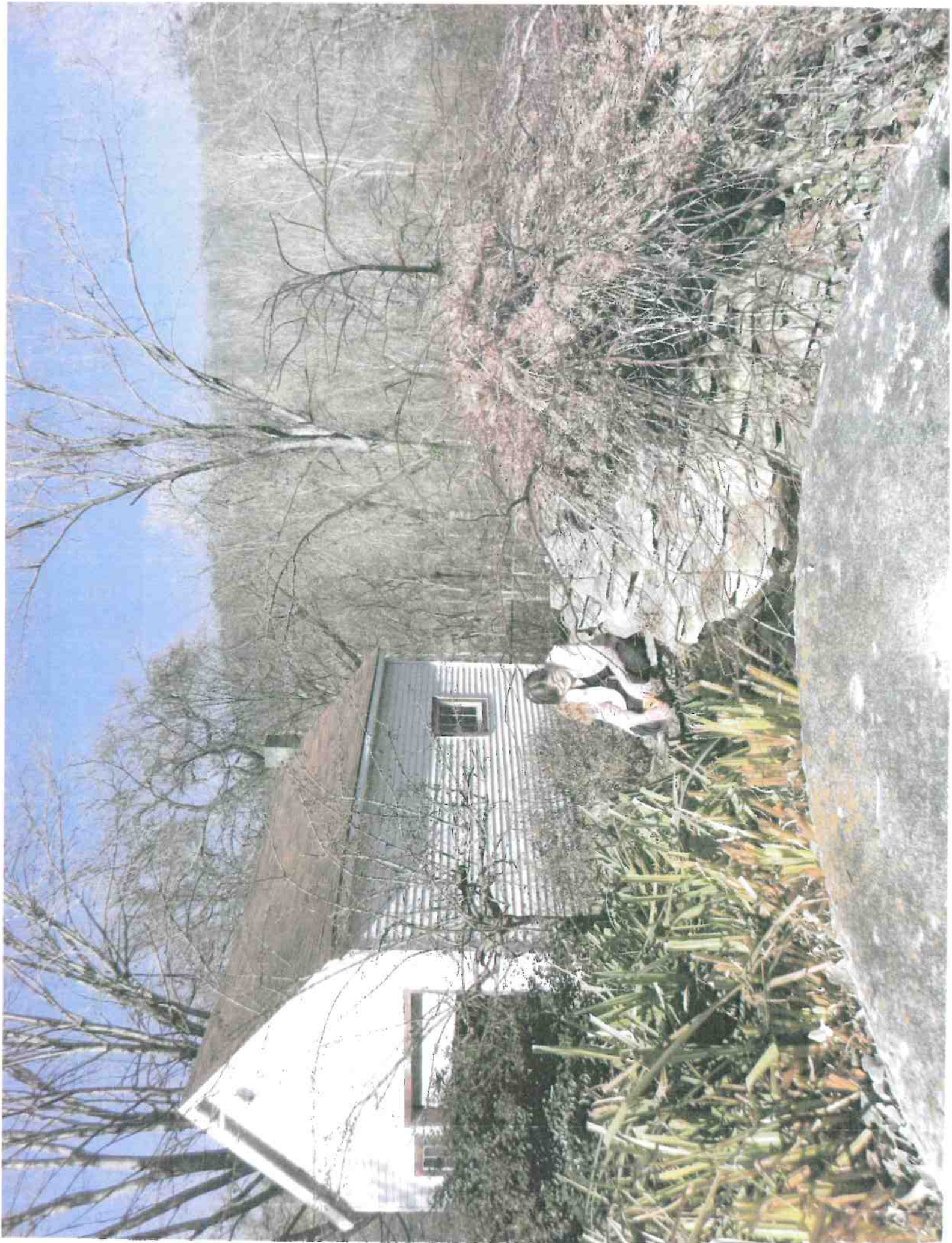




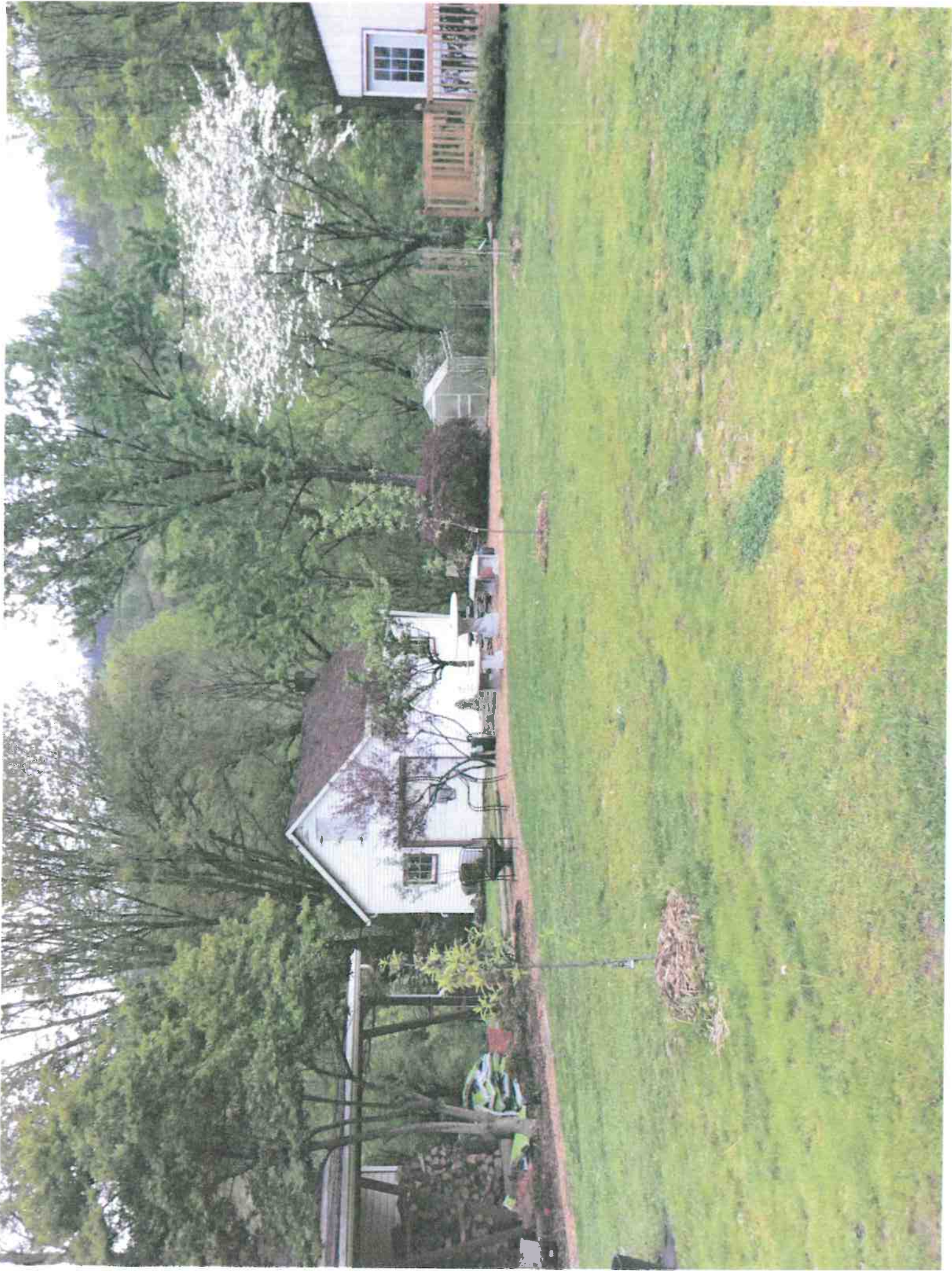




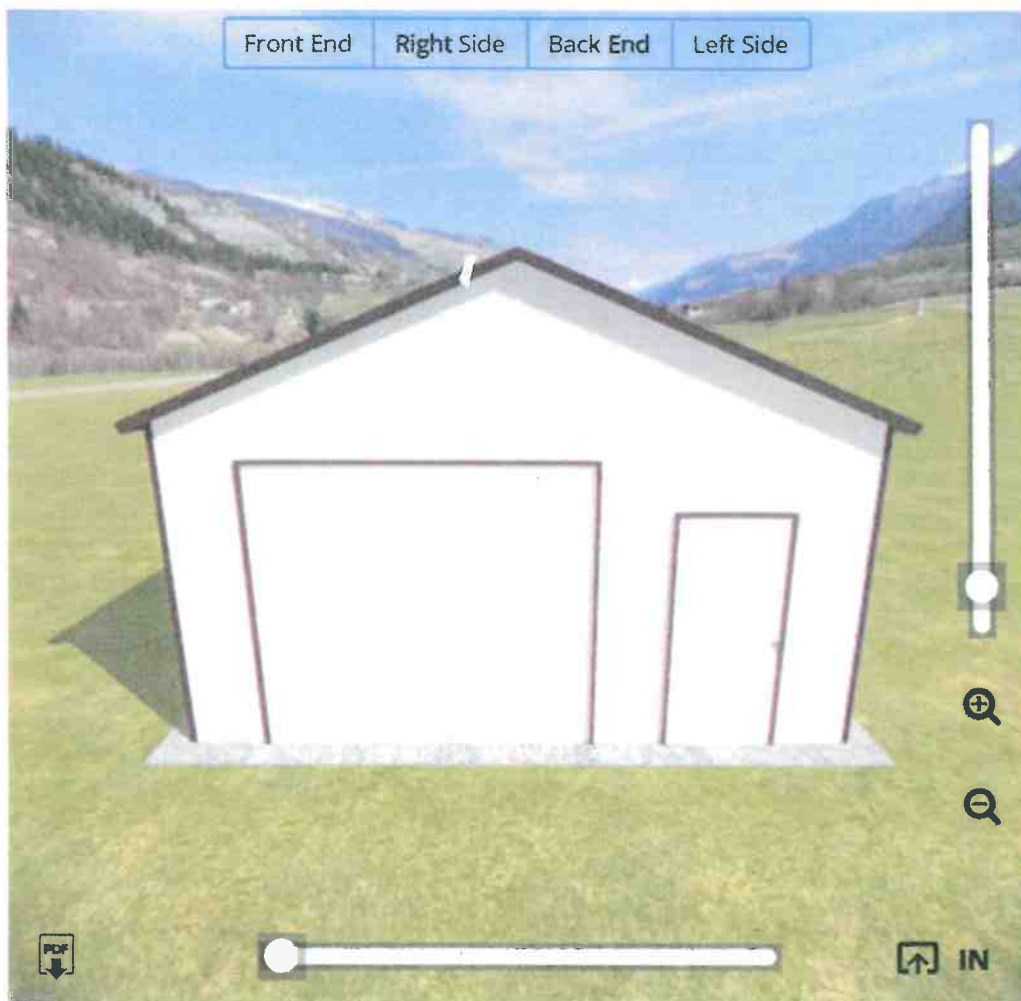






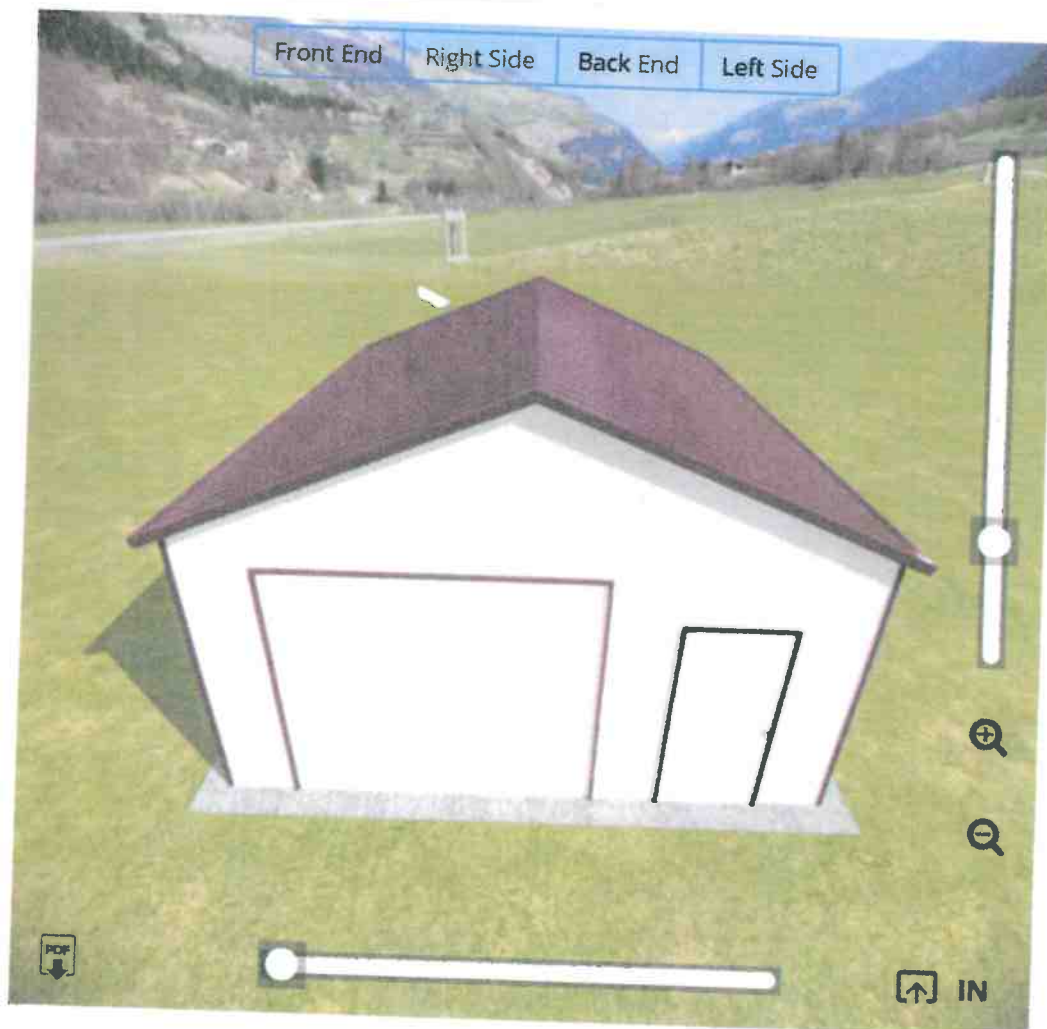






Show Custom Product Summary ▾

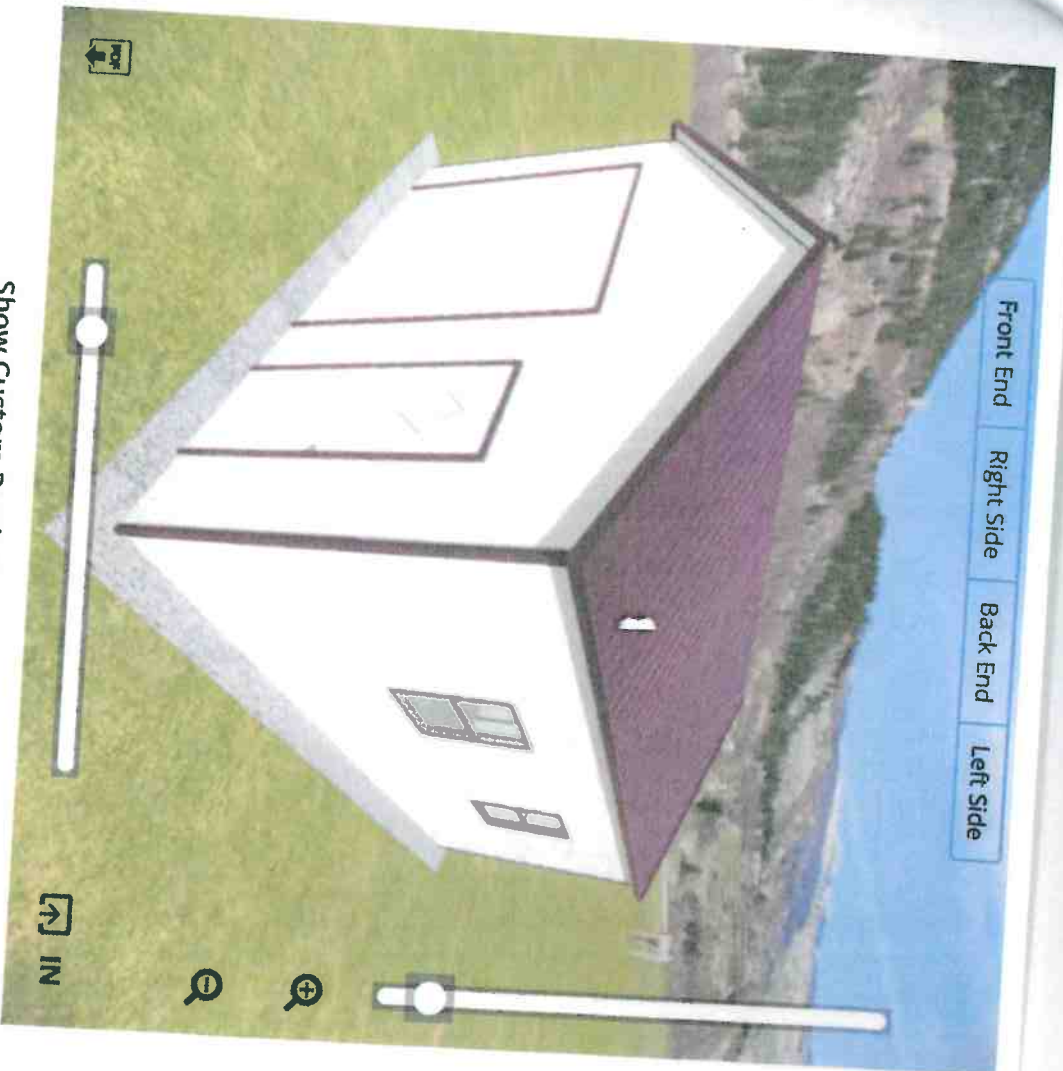
## Step 2: Customize Sides and Ends



Show Custom Product Summary ▼

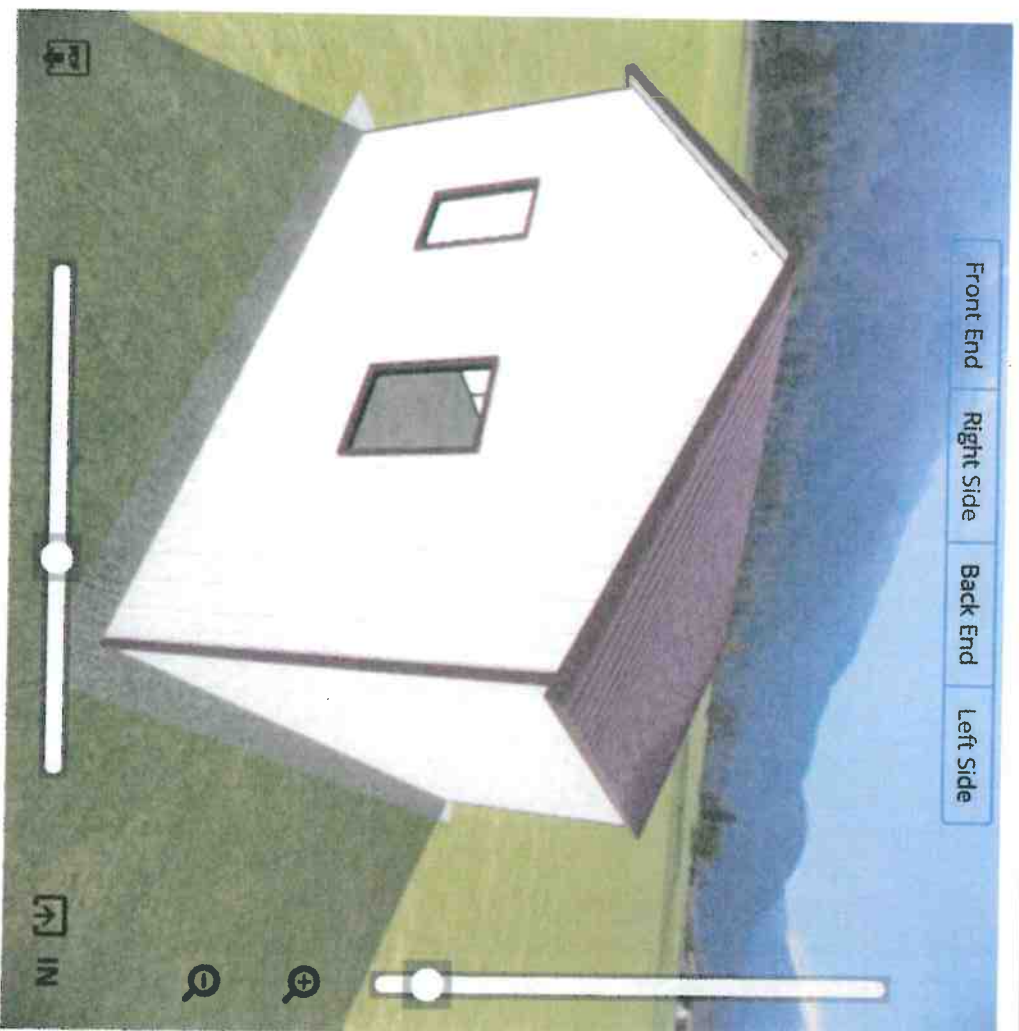
## Step 2: Customize Sides and Ends





Show Custom Product Summary ▾

## Step 2: Customize Sides and Ends



Show Custom Product Summary ▾

## Step 2: Customize Sides and Ends





### MadisonZoning

Zoning Code:

- HS
- OS
- R-8
- RA

### 2015 Flood Map

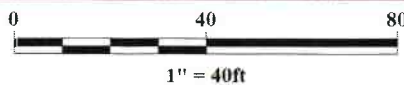
FLD\_ZONE:

- AE

- Regional Counties
- County Boundary
- Townships
- Water
- Parcels
- Corporate Boundary
- Sewer Structures

### Addresses

- Regional Count
- Regional Roads
- Regional Highw
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails







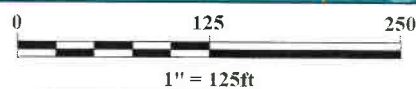
2015 Flood Map  
FLD\_ZONE:

AE

- Regional Counties
- County Boundary
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- Addresses
- Common Addresses

- Regional County
- Regional Roads
- Regional Highway
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails



# MADISON HISTORIC DISTRICT BOARD OF REVIEW

## Request for Certificate of Appropriateness



Application has been made by: (name) Angelo & Mirta Zullo

Property Address: (address) 1218 W. Main St.

Proposed Action to: (explain) build 18'x20' accessory building to same specifications as was there prior to fire

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Meeting will be held on: (date) 4/24/2023

**POSTING DEADLINE**

Place of Meeting: City Hall — 101 W. Main Street, Madison, IN 47250

04/09/2023

Time of Meeting: 5:30 PM

All interested persons are welcome to attend this hearing to voice their objections or support for the application.

For further information, Contact the Office of Historic Preservation (812) 274-0253 or Plan Commission (812) 265-8324